

Notice of Meeting

Planning Committee

Councillor Dudley (Chair),
Councillor Brossard (Vice-Chairman),
Councillors Angell, Dr Barnard, Bhandari, Bidwell, D Birch, Brown,
Gbadebo, Green, Mrs Hayes MBE, Heydon, Mrs Mattick,
Mrs McKenzie, Mrs McKenzie-Boyle, Mossom, Skinner and Virgo

Thursday 18 August 2022, 6.30 pm

Council Chamber - Time Square, Market Street, Bracknell, RG12

1JD



Agenda

All councillors at this meeting have adopted the Mayor's Charter which fosters constructive and respectful debate.

Item	Description	Page
1.	Apologies for Absence	
	To receive apologies for absence.	
2.	Minutes	5 - 18
	To approve as a correct record the minutes of the meeting of the Committee held on 22 July 2022.	
3.	Declarations of Interest	
	Members are asked to declare any disclosable pecuniary or affected interests in respect of any matter to be considered at this meeting. Any Member with a Disclosable Pecuniary Interest in a matter should withdraw from the meeting when the matter is under consideration and should notify the Democratic Services Officer in attendance that they are withdrawing as they have such an interest. If the Disclosable Pecuniary Interest is not entered on the register of Members interests the Monitoring Officer must be notified of the interest within 28 days. Any Member with an Affected Interest in a matter must disclose the interest to the meeting. There is no requirement to withdraw from the meeting when the interest is only an affected interest, but the Monitoring Officer should be notified of the interest, if not previously notified of it, within 28 days of the meeting.	
4.	Urgent Items of Business	
	Any other items which, pursuant to Section 100B(4)(b) of the Local Government Act 1972, the Chairman decides are urgent.	

Planning Applications

(Assistant Director: Planning)

EMERGENCY EVACUATION INSTRUCTIONS

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The conditions for public speaking have been met in the applications marked 'PS'. For further information or to register for public speaking, please contact Customer Services 01344 352000.

5.	PS 20/00627/FUL Jemca Toyota Bracknell, John Nike Way, Binfield, Bracknell, Berkshire RG12 8TN	23 - 30
	Structure for vehicle washing and valeting, including related drainage	
6.	21/00507/REM Land North Of Tilehurst Lane and West Of South Lodge Tilehurst Lane Binfield Bracknell Berkshire	31 - 52
	Submission of reserved matters application to outline planning permission 17/01174/OUT for the approval of details of appearance, landscaping, layout and scale relating to the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features, with access from Tilehurst Lane.	
7.	21/00089/COND Land North Of Tilehurst Lane and West Of South Lodge, Tilehurst Lane, Binfield, Bracknell, Berkshire RG42 5JS	53 - 64
	Details pursuant to Conditions 04 (Finished Floor Levels), 11 (Site Organisation), 12 (Working Method Statement), 14 (Biodiversity Enhancements), 23 (Surface Water Drainage Scheme), 24 (Drainage Strategy) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697).	
8.	22/00003/FUL 121 College Road, College Town, Sandhurst, Berkshire GU47 0RD	65 - 74
	Revised scheme for erection of single storey rear extension following demolition of existing conservatory and installation of two air conditioning units.	
9.	22/00013/COND Land North Of Tilehurst Lane and West Of South Lodge, Tilehurst Lane, Binfield, Bracknell, Berkshire RG42 5JS	75 - 80
	Details pursuant to Conditions 20 (Energy Demand Assessment) and Condition 21 (Water Efficiency) of planning permission 17/01174/OUT.	
10.	22/00080/COND Land North Of Tilehurst Lane, Tilehurst Lane, Binfield, Bracknell Berkshire RG42 5JS	81 - 90
	Detail pursuant to conditions 10 (cycle parking) and 17 (street lighting) of planning permission 17/01174/OUT	

Sound recording, photographing, filming and use of social media is permitted. Please contact Hannah Harding, 01344 352308, hannah.harding@bracknell-forest.gov.uk, so that any special arrangements can be made.

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EMERGENCY EVACUATION INSTRUCTIONS

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**PLANNING COMMITTEE
22 JULY 2022
10.06 AM - 1.15 PM**

Present:

Councillors Dudley (Chair), Brossard (Vice-Chairman), D Birch, Gbadebo, Green, Mrs Hayes MBE, Mrs McKenzie-Boyle and Virgo

Present Virtually:

Councillors Bhandari, Heydon and Mossom

Apologies for absence were received from:

Councillors Angell, Dr Barnard, Bidwell, Brown, Mrs Mattick, Mrs McKenzie and Skinner

Also Present:

Councillors Turrell

18. **Minutes**

RESOLVED that the minutes meeting held on 16 June 2022 were approved as a correct record.

19. **Declarations of Interest**

There were no declarations of interest.

20. **Urgent Items of Business**

There were no urgent items of business.

21. **PS 21/00986/FUL Beaufort Park, South Road, Wokingham**

Erection of 226 homes including associated on-site SANG with an access route, open space and pedestrian/cycle connections.

The Committee noted:

- The supplementary report tabled at the meeting.
- The letters of objection from various groups as summarised in the agenda.
- The 108 letters of objection as summarised in the agenda.
- The additional letter of representation as detailed in the supplementary report.
- The representations of the 2 public speakers at the meeting.

A motion to **APPROVE** the recommendation in the officer report was proposed but fell at the vote.

Therefore an alternative motion to refuse the application was proposed and seconded, and on being put to the vote was **CARRIED**

RESOLVED that application 21/00986/FUL be **REFUSED** for the following reasons:

01. The development fails to make adequate provision for the parking of vehicles in accordance with the Council's adopted parking standards. The Local Planning Authority is not persuaded by the submitted evidence that a relaxation to these standards will not lead to on-site congestion and the displacement of vehicles onto surrounding roads increasing the risk of illegal, inconsiderate or obstructive parking. This would in turn have an adverse effect on the free flow of traffic and highway safety. It has not been demonstrated that parking to meet the Council's adopted parking standards can be satisfactorily accommodated on site without resulting in overdevelopment and a cramped form of development. As a result, the proposed development is contrary to Policies EN20 and M9 of the BFBLP and Policy CS7 of the CSDPD and the Parking Standards SPD (2016).

02. In the absence of a planning obligation to secure suitable avoidance and mitigation measures and access management monitoring arrangements, in terms that are satisfactory to the Local Planning Authority, the proposal would be contrary to Regulation 63(5) of the Conservation of Habitats and Species Regulations 2017 (as amended), Policy NRM6 of the South East Plan, Policy EN3 of the Bracknell Forest Borough Local Plan, Policy CS14 of the Core Strategy Development Plan Document and the Thames Basin Heaths Special Protection Area Supplementary Planning Document (2018).

03. In the absence of a planning obligation to secure affordable housing in terms that are satisfactory to the Local Planning Authority, the proposal is contrary to "Saved" Policy H8 of the Bracknell Forest Borough Local Plan, Policies CS16 and CS17 of the Core Strategy Development Plan Document, the Planning Obligations SPD, the resolution on affordable housing made by BFC Executive on 29 March 2011, and the NPPF.

04. The proposed development would unacceptably increase the pressure on highways and transportation infrastructure, community facilities and public open space. In the absence of planning obligations in terms that are satisfactory to the Local Planning Authority, and which secure a travel plan and contributions towards highway improvements, community facilities and Open Space of Public Value the proposal is contrary to Policies R4 and M4 of the Bracknell Forest Borough Local Plan, Policies CS6, CS8, CS23 and CS24 of the Core Strategy Development Plan Document and the Planning Obligations SPD.

05. The application fails to demonstrate that it protects and enhances biodiversity in accordance with Policies CS1 and CS7 of the Core Strategy Development Plan Document, the NPPF (2019), Circular 06/05, the NERC Act 2006 and the Conservation of Habitats and Species regulations 2010.

06. The applicant has not demonstrated that flood risk would not be exacerbated as a result of the proposal or that the development would be safe from flooding. This is contrary to Paragraph 167 of the National Planning Policy Framework (NPPF).

22. **PS 21/00701/FUL Bracknell Beeches, Old Bracknell Lane, West Bracknell**
Erection of 7 new buildings ranging from 4 to 16 storeys comprising 349 residential dwellings, 294 sqm of flexible commercial/community floorspace (Flexible use class E/F Use), new station access and associated car parking, cycle parking and landscaping following demolition of existing buildings.

The Committee noted:

- The supplementary report tabled at the meeting.
- That Bracknell Town Council raised no objection to the proposal.
- The 58 letters of objection as summarised in the agenda.
- The 2 letters of support as summarised in the agenda.
- The representations of the 2 public speakers at the meeting.

RESOLVED that the Assistant Director: Planning be authorised to **APPROVE** the application subject the completion of planning obligation(s) under Section 106 of the Town and Country Planning Act relating to the following matters, and the following conditions, added to or deleted as the Assistant Director: Planning considers necessary:

- i. Measures to avoid and mitigate the impact of residential development upon the Thames Basins Heath SPA;
- ii. Commitment to entering into an agreement with the Highway Authority under Section 278 of the Highways Act 1980 for the Old Bracknell Lane West access amendments;
- iii. Commitment to entering into an agreement with the Highway Authority under Section 38 of the Highways Act 1980 for adoption of the east-west cyclepath/footpath;
- iv. Provision of a Travel Plan including car club vehicles;
- v. Contribution to cover the review of Traffic Regulation Orders (TROs);
- vi. Private Access and Footpath (PAF) standard clauses and associated maintenance agreements;
- vii. Implementation of the disability compliant access to the southern platform of Bracknell Railway Station;
- viii. Provision of on-site OSPV including their maintenance, and financial contribution towards off-site OSPV capable of serving this site;
- ix. Contributions towards the provision and maintenance of community facilities capable of serving the site;
- x. On-site Biodiversity Net Gain provision including maintenance and monitoring; and
- xi. Submission and approval of a final SuDS Specification and Management and Maintenance plan to secure management of the SuDS for the lifetime of the development together with a monitoring sum.
- xii. Securing on-site affordable housing provision of 43 units, along with a future affordable housing provision review mechanism.

01. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with Section 91 of the Town and Country Planning Act 1990.

02. The development hereby permitted shall be carried out only in accordance with the following approved plans and other submitted details: -

- BBE-ASA-ZZ-XX-DR-A-100 Site Location Plan R3
- BBE-ASE-ZZ-GF-DR-L-100 General Arrangement Plan R9
- BBE-ASA-ZZ-BS-DR-A-199 Basement Plan R10
- BBE-ASA-ZZ-GF-DR-A-200 Ground Floor Plan R16
- BBE-ASA-ZZ-01-DR-A-201 First Floor Plan R13
- BBE-ASA-ZZ-02-DR-A-202 Second Floor Plan R13
- BBE-ASA-ZZ-03-DR-A-203 Third Floor Plan R13
- BBE-ASA-ZZ-04-DR-A-204 Fourth Floor Plan R13
- BBE-ASA-ZZ-05-DR-A-205 Fifth Floor Plan R13
- BBE-ASA-ZZ-06-DR-A-206 Sixth Floor Plan R13
- BBE-ASA-ZZ-07-DR-A-207 Seventh Floor Plan R13
- BBE-ASA-ZZ-08-DR-A-208 Eighth Floor Plan R13

BBE-ASA-ZZ-09-DR-A-209 Ninth Floor Plan R13
 BBE-ASA-ZZ-10-DR-A-210 Tenth Floor Plan R13
 BBE-ASA-ZZ-RP-DR-A-216 Roof Plan R14
 BBE-ASA-BA-BS-DR-A-199 Block A, B & C Basement Floor R5
 BBE-ASA-BA-GF-DR-A-220 Block A, B & C Ground Floor R5
 BBE-ASA-BA-01-DR-A-221 Block A, B & C First Floor R5
 BBE-ASA-BA-02-DR-A-222 Block A, B & C Second Floor R3
 BBE-ASA-BA-03-DR-A-223 Block A, B & C Third Floor R3
 BBE-ASA-BA-04-DR-A-224 Block A, B & C Fourth Floor R4
 BBE-ASA-BB-BS-DR-A-199 Block A, B & C Plans Basement Floor R5
 BBE-ASA-BB-GF-DR-A-220 Block A, B & C Plans Ground Floor R5
 BBE-ASA-BB-01-DR-A-221 Block A, B & C Plans First Floor R4
 BBE-ASA-BB-02-DR-A-222 Block A, B & C Plans Second Floor R4
 BBE-ASA-BB-03-DR-A-223 Block A, B & C Plans Third Floor R4
 BBE-ASA-BB-04-DR-A-224 @A1 1:100 Block A, B & C Plans Fourth Floor R4
 BBE-ASA-BD-GF-DR-A-220 Block D Plans Ground Floor R5
 BBE-ASA-BD-01-DR-A-221 Block D Plans First Floor R3
 BBE-ASA-BD-02-DR-A-222 Block D Plans Second - Fifteenth Floors R3
 BBE-ASA-BE-GF-DR-A-220 Block E Plans Ground Floor R5
 BBE-ASA-BE-01-DR-A-221 Block E Plans First Floor Floor R3
 BBE-ASA-BE-02-DR-A-222 Block E Plans Second - Ninth Floors R3
 BBE-ASA-BF-GF-DR-A-220 Block F & G Plans Ground Floor R6
 BBE-ASA-BF-01-DR-A-221 Block F & G Plans First Floor R5
 BBE-ASA-BF-02-DR-A-222 Block F & G Plans Second Floor R3
 BBE-ASA-BF-03-DR-A-223 Block F & G Plans Third Floor R3
 BBE-ASA-BF-04-DR-A-224 Block F & G Plans Fourth Floor R3
 BBE-ASA-BF-05-DR-A-225 Block F & G Plans Fifth Floor R3
 BBE-ASA-BF-06-DR-A-226 Block F & G Plans Sixth Floor R3
 BBE-ASA-BF-07-DR-A-227 Block F & G Plans Seventh Floor R3
 BBE-ASA-BG-GF-DR-A-220 Block F & G Plans Ground Floor R6
 BBE-ASA-BG-01-DR-A-221 Block F & G Plans First Floor R5
 BBE-ASA-BG-02-DR-A-222 Block F & G Plans Second Floor R3
 BBE-ASA-BG-03-DR-A-223 Block F & G Plans Third Floor R3
 BBE-ASA-BG-04-DR-A-224 Block F & G Plans Fourth Floor R3
 BBE-ASA-BG-05-DR-A-225 Block F & G Plans Fifth Floor R3
 BBE-ASA-BG-06-DR-A-226 Block F & G Plans Sixth Floor R3
 BBE-ASA-BA-XX-DR-A-350 Block A, B & C Sections R5
 BBE-ASA-BD-XX-DR-A-350 Block D & E Section R5
 BBE-ASA-BF-XX-DR-A-350 Block F & G Sections R6
 BBE-ASA-BB-XX-DR-A-350 Block A, B, & C Sections R1
 BBE-ASA-BA-XX-DR-A-400 Blocks A B & C Elevations West R6
 BBE-ASA-BA-XX-DR-A-401 Blocks A B & C Elevations West R6
 BBE-ASA-BA-XX-DR-A-402 Blocks A B & C Elevations East R6
 BBE-ASA-BA-XX-DR-A-403 Blocks A B & C Elevations East R6
 BBE-ASA-BA-XX-DR-A-404 Blocks A B & C Elevations North R6
 BBE-ASA-BA-XX-DR-A-405 Blocks A B & C Elevations South R6
 BBE-ASA-BD-XX-DR-A-400 Block D Elevations North R6
 BBE-ASA-BD-XX-DR-A-401 Block D Elevations South R6
 BBE-ASA-BD-XX-DR-A-402 Block D Elevations West R6
 BBE-ASA-BD-XX-DR-A-403 Block D Elevations East R6
 BBE-ASA-BE-XX-DR-A-400 Block E Elevations North & South R6
 BBE-ASA-BE-XX-DR-A-401 Block E Elevations West R6
 BBE-ASA-BE-XX-DR-A-402 Block E Elevations East R6
 BBE-ASA-BF-XX-DR-A-400 Block F Elevations North R8
 BBE-ASA-BF-XX-DR-A-401 Block F Elevations South R7
 BBE-ASA-BF-XX-DR-A-402 Block F Elevations East R7

BBE-ASA-BG-XX-DR-A-400 Block G Elevations North R8
BBE-ASA-BG-XX-DR-A-401 Block G Elevations South R7
BBE-ASA-BG-XX-DR-A-402 Block G Elevations West R7
BBE-ASA-BA-XX-DR-A-450 Block A, B, C & D Elevations West R6
BBE-ASA-BA-XX-DR-A-451 Block A, B & C Elevations West & East R5
BBE-ASA-BD-XX-DR-A-450 Block D, E, F & G Elevations North R5
BBE-ASA-BD-XX-DR-A-451 Block D, E, F & G Elevations South R6
BBE-ASA-BF-XX-DR-A-450 Block F & G Elevations North & South R7
Design and Access Statement P9
Design and Access Statement Addendum R4
BBE-ASE-ZZ-GF-DR-L-101 Levels Plan R3
BBE-ASE-ZZ-GF-DR-L-102 Tree Removal, Retention & Proposal Plan R2
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

03. Prior to commencement of any development above slab level, samples of the external materials to be used in the development shall be submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved materials.

REASON: In the interests of the visual amenities of the area.
[Relevant Policies: BFBLP EN20, Core Strategy DPD CS7]

04. Prior to commencement of any development above slab level, details showing the finished floor levels of the buildings in each phase hereby approved in relation to a fixed datum point shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

REASON: In the interests of the character of the area.

05. No development shall commence until a scheme for the provision of biodiversity enhancements (not mitigation), including a plan or drawing showing the location of these enhancements, has been submitted to and approved in writing by the Local Planning Authority. An ecological site inspection report, confirming the provision of the approved enhancements on site, shall be submitted within three months of the first occupation of the development. The approved scheme shall be performed, observed and complied with.

REASON: In the interests of achieving net gains for biodiversity
[Relevant Plans and Policies: CSDPD CS1, CS7]

06. The building hereby permitted shall not be occupied until hard and soft landscaping, including boundary treatments and other means of enclosure, has been provided for in accordance with a scheme submitted to and approved in writing by the Local Planning Authority. The scheme shall include a 3 year post planting maintenance schedule. All planting comprised in the soft landscaping works shall be carried out in accordance with British Standard 4428:1989 'Code of Practice For General Landscape Operations' or any subsequent revision and completed in full accordance with the approved scheme. The materials, construction, street lighting and edge protection for the east-west cycleway shall be compliant with the Highway Authority's standards for adoption. All trees and other plants included within the approved details shall be healthy, well-formed specimens of a minimum quality that is compatible with British Standard 3936:1992 (Part 1) 'Specifications For Trees & Shrubs' and British Standard 4043 (where applicable) or any subsequent revision. Any trees or other plants which within a period of 5 years from the completion of the development, die, are removed, uprooted, are significantly damaged, become diseased or deformed, shall be replaced during the next planting season (1st October

to 31st March inclusive) with others of the same size, species and quality as approved.

REASON: In the interests of good landscape design, the visual amenity of the area and highway safety.

[Relevant Policies: BFBLP EN2 and EN20, CSDPD CS7 and CS23]

07. No dwelling shall be occupied until vehicular and pedestrian access to the dwelling and its parking has been constructed in accordance with the approved plans.

REASON: In the interests of highway safety.

[Relevant Policies: Core Strategy DPD CS23]

08 No dwelling or retail/community use shall be occupied until the following means of access for sustainable modes of travel, including for those with disabilities, have been constructed and are available for use:

(a) Access to the southern station platform at Bracknell railway station;
(b) Pedestrian and cycle route between any occupied dwelling or retail/community use and:

(i) the access to the southern station platform at Bracknell railway station;
(ii) the bridge over the mainline railway which provides a link to Bracknell town centre;
(iii) Old Bracknell Lane West.

Thereafter these means of access for sustainable modes of travel shall be retained and maintained.

REASON: In the interests of highway safety and to offer a genuine choice of transport modes.

[Relevant Policies: BFBLP M6 & M7; Core Strategy DPD CS23 & CS24; NPPF paragraphs 105, 110 a) & b) and 112 a)]

09. No vehicular, pedestrian or cyclist connections shall be formed onto the primary site road until a plan showing visibility splays has been submitted to and approved in writing by the Local Planning Authority. Thereafter the visibility splays shall be kept clear of any obstruction to visibility above 0.6m in height measured from the adjacent carriageway, in the areas shown on the approved plan.

REASON: In the interests of highway safety.

[Relevant Policies: Core Strategy DPD CS23]

10. (A) No dwelling shall be occupied until the associated vehicle parking and turning space has been surfaced and marked out in accordance with the approved drawings within the development. The following parking and turning areas shall be provided and retained:

i) Residential use: 349 car parking spaces (one space per dwelling) including a minimum of 79 spaces with electric vehicle charge points with a minimum output of 7kW, 79 spaces with cabling and ducting to allow spaces to be readily adaptable to provide charging points in future, and 18 spaces which could be used for disabled parking if there is a defined need;

ii) Commercial use: 10 car parking spaces including 1 disabled space;

iii) Visitor spaces: 38 car parking spaces including 2 disabled spaces;

iv) Car club spaces: 4 spaces including 1 with an electric vehicle charge point with a minimum output of 7kW and 1 space with cabling and ducting to allow the space to be readily adaptable to provide charging points in future; and

v) Deliveries and servicing: 2 delivery/servicing bays and an area in the north-east which with managed access for deliveries and servicing only at certain times (outside of which this area will be pedestrians and cyclists only).

(B) The parking, turning, servicing and delivery areas shall be managed in accordance with a Parking, Servicing and Deliveries Management Plan which shall be submitted to and approved in writing by the Local Planning Authority prior to first occupation and which shall incorporate:

- i) parking allocation (residential and commercial);
- ii) parking enforcement;
- iii) delivery and servicing management, including access arrangements and timings for the north-eastern parcel which set out when delivery and servicing is permitted in this area, when the area will be restricted to pedestrians and cyclists only and how this restriction will be controlled and managed;
- iv) details of signage for parking including visitor parking, electric vehicle spaces, disabled spaces, car club and delivery/servicing bays;
- v) details of electric vehicle charging provision with a minimum output per space of 7kW and an intelligent demand-response system to manage electric vehicle charging demand.

REASON: To ensure that the development is provided with adequate car parking, delivery and servicing arrangements to prevent the likelihood of on-street car parking or deliveries which would be a danger to other road users.

[Relevant Policies: BFBLP M5 & M9, Core Strategy DPD CS23]

11. No dwelling or community/retail unit shall be occupied until the associated cycle parking has been provided in the location shown on the approved plans within the development. Overall the development shall provide 539 secure and covered cycle parking spaces for the residential dwellings, 2 secure and covered cycle parking spaces for staff of the community / retail development and 6 Sheffield-style stands (allowing 12 cycles to be parked) for visitors to the community / retail development which are to be located outside (west of) the community / retail development as shown on the approved Landscape & Public Realm General Arrangement Plan with drawing number BBE-ASE-ZZ-GF-DR-L-100 revision R9. Where two-tier cycle parking is provided the upper tier shall have gas-assisted lifting to enable it to be used by less able-bodied people. The cycle parking spaces and facilities shall thereafter be retained.

REASON: In the interests of accessibility of the development to cyclists.

[Relevant Policies: BFBLP M9, Core Strategy DPD CS23]

12. Before occupation of any dwelling or retail/community unit, a Shuttle Bus Service Specification shall be submitted to and approved in writing by the Local Planning Authority. The Shuttle Bus Service Specification shall include details of the vehicle types, route, frequency and stops for the shuttle bus service. Thereafter the shuttle bus service shall be provided in accordance with the approved Shuttle Bus Service Specification.

REASON: In the interests of accessibility of the development, particularly to those with reduced mobility.

13. No gates shall be provided at the vehicular access to the site.

REASON: In the interests of highway safety.

[Relevant Policies: Core Strategy DPD CS23]

14. No development (including demolition and site clearance) shall take place, until a Construction (and Demolition) Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority.

The CEMP shall include as a minimum;

- (i) Routing of construction and demolition traffic (including directional signage and appropriate traffic management measures);
- (ii) Details of the parking of vehicles of site operatives and visitors;
- (iii) Areas for loading and unloading of plant and materials;
- (iv) Areas for the storage of plant and materials used in constructing the development;
- (v) Location of any temporary portacabins and welfare buildings for site operatives;
- (vi) Details of any security hoarding;

- (vii) Details of any external lighting of the site;
- (viii) Details of the method of piling for foundations;
- (ix) Measures to control the emission of dust, dirt, noise and odour during demolition and construction;
- (x) The control of rats and other vermin;
- (xi) Measures to control surface water run-off during demolition and construction;
- (xii) Construction and demolition working hours and hours during which delivery vehicles or vehicles taking materials away are allowed to enter or leave the site;
- (xiii) Details of wheel-washing facilities during both demolition and construction phases; and
- (xiv) Areas for the turning of construction and demolition vehicles such that the largest anticipated vehicle can turn and leave the site in a forward gear.

The approved Construction Environmental Management Plan shall be adhered to throughout the demolition and construction period.

REASON: In the interests of highway safety and to mitigate and control environmental effects during the demolition and construction phases.

[Relevant Policies: BFBLP EN20, EN25, M9; Core Strategy DPD CS1, CS7, CS23]

15. The use of the ground floor retail/community space shall be restricted so as to prohibit Use Classes E(d) and E(f) of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (as amended), (or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification).

REASON: To prevent uses which would result in a demand for parking which cannot be accommodated on site and which would increase the likelihood of on-street car parking and deliveries which would be a danger to other road users.

[Relevant Policies: BFBLP M9, Core Strategy DPD CS23]

16. The applicant shall submit to the local planning authority, for approval, a detailed assessment of glazing and ventilation requirements to achieve internal noise levels in accordance with the noise criteria set out in the Mayer Brown acoustic report dated December 2021. Any works which form part of the approved scheme shall be completed before the development [or relevant phase] is occupied.

REASON: To protect occupiers of the proposed development from external noise sources.

17. A detailed design for the acoustic fence shall be submitted, for written approval, to the Local Planning Authority. The development shall not be occupied until the noise mitigation measure identified in the approved scheme, have been fully implemented. The noise mitigation measures shall be retained and maintained thereafter.

REASON: to protect future occupiers against unreasonable noise

18. A scheme for protecting the proposed dwellings of the approved development from noise from the plant room, bin stores, lift shafts, and stairwell, uses shall be submitted, for written approval, to the Local Planning Authority. The development shall not be occupied until the noise mitigation measure identified in the approved scheme, have been fully implemented.

The noise mitigation measures shall be retained and maintained thereafter.

REASON: To protect future occupiers against unreasonable noise.

19. No superstructure works shall take place until construction details of the party ceiling/floor between habitable rooms and commercial premises have been submitted to, and approved in writing, by the Local Planning Authority along with the noise criteria that must not be exceeded within the commercial units to ensure that noise due to the commercial premises does not exceed NR20 when measured in terms of

the Leq noise metric over a 5 minute period. Additionally, the LFmax sound from amplified and non-amplified music and speech arising from the commercial units shall not exceed the typical minimum L90 (5min), as measured 1m from the windows of any neighbouring residential property in all third octave bands between 63 Hz and 8 kHz

REASON: To protect future residents from noise from the commercial uses

20. No deliveries for commercial premises or waste collections shall be despatched or accepted outside the following times.

Monday to Saturday – 7:00 am and 10:00 pm

Sundays and Public Holidays – 9:00 am and 6:00 pm

REASON: To protect the amenity of residents living in the vicinity of the site and to reduce impact on air quality.

21. Prior to the commencement of use of any unit as a café/restaurant the following shall be submitted to the Local Planning Authority: -

(a) written details concerning any proposed air handling plant associated with the development including:

- the proposed number and location of such plant as well as the manufacturer's information and specifications;

- the acoustic specification of the plant including general sound levels and frequency analysis under conditions likely to be experienced in practice

- and the intended operating days and times.

(b) calculations showing the likely impact of noise from the development;

(c) a scheme of works or such other steps as may be necessary to minimize the effects of noise from the development;

(d) The development shall not commence until written approval of a scheme under (c) above has been given by the Local Planning Authority. All works forming part of the scheme shall be completed before any of the dwellings is first occupied.

REASON: To protect [future residents of the site and] the occupants of nearby residential properties from noise.

22. The applicant shall submit to the Local Planning Authority, for written approval, a scheme of works to minimise the emission of cooking odours.

The permitted use shall not commence until the odour mitigation measures, as set out in the approved scheme, have been implemented. The odour mitigation measures shall be maintained and retained for the duration of the development.

REASON: In the interests of the amenities of neighbouring occupiers.

23. No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Hrs Monday to Friday and 08:00 to 13:00 Hrs Saturdays and at no time on Sundays or Bank or National Holidays

REASON: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period.

24. No development shall take place until full details of the Drainage System has been submitted to and approved in writing by the Local Planning Authority. This shall include:

Full details of all components of the proposed drainage system including dimensions, locations, gradients, invert and cover levels, headwall details, planting and drawings as appropriate. This should include confirmation that the construction is in accordance with manufacturer specifications, where necessary.

REASON: To ensure that the site is properly drained and does not increase the risk of flooding in accordance with policy CS1 of the Core Strategy.

25. The development hereby permitted shall not be begun until an Energy Demand Assessment demonstrating that:

(a) the proposed development will reduce carbon dioxide emissions by at least 10% against the appropriate Target Emission Rate as set out in Part L of the Building Regulations (2006),

and

(b) a proportion of the development's energy requirements will be provided from on-site renewable energy production (which proportion shall be 20%)

has been submitted to and approved in writing by the Local Planning Authority. The building shall thereafter be constructed in accordance with the approved assessment and retained as such thereafter.

REASON: In the interests of the sustainability and the efficient use of resources.

[Relevant Plans and Policies: CSDPD CS12]

26. The development shall not be begun until a Sustainability Statement covering water efficiency aimed at achieving an average water use in new dwellings of 110 litres/ person/day, has been submitted to, and agreed in writing by, the Local Planning Authority. The development shall be implemented in accordance with the Sustainability Statement, as approved, and retained as such thereafter.

REASON: In the interests of sustainability and the efficient use of resources.

[Relevant Policy: Core Strategy DPD CS10]

27. No superstructure works shall take place until a pre-assessment estimator, or design report, demonstrating likely compliance of the commercial floor space with BREEAM 'Very Good' as a minimum requirement, has been submitted to, and approved in writing by, the Local Planning Authority.

The development shall be implemented in accordance with the approved estimator/report and retained as such thereafter.

REASON: In the interests of sustainability and the efficient use of resources.

[Relevant Policy: Core Strategy DPD CS10]

28. No development shall take place until the applicant or their agents or successors in title have secured the implementation of a programme of archaeological work (which may comprise more than one phase of works) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the planning authority. The development shall only take place in accordance with the detailed scheme approved pursuant to this condition.

REASON: The site lies within an area of archaeological potential.

29. The flood risk mitigation proposals detailed in the RPS Flood Risk Assessment, dated December 2021, should be taken forward to detailed design and implemented as part of the proposed development.

REASON: To ensure the development does not increase the risk of flooding, on or off-site, in accordance with policy CS1 of the Core Strategy.

30. No development shall commence until details of how the surface water drainage shall be maintained and managed after completion have been submitted to and approved in writing by the Local Planning Authority. The details shall include confirmation of the required maintenance activities with expected frequency, with site specific assessments included to demonstrate that health and safety has been fully considered in the design and that access and egress for future residents will be maintained during any operations to repair or replace drainage features.

REASON: To ensure that the site is properly drained and does not increase the risk of flooding in accordance with policy CS1 of the Core Strategy.

31. No building or use hereby permitted shall be occupied or the use commenced until the sustainable urban drainage scheme for this site has been completed in accordance with the submitted details. The sustainable urban drainage scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan. Written confirmation of agreements for the management and maintenance of the drainage scheme shall be submitted and approved by the local planning authority.

REASON: To ensure that the site is properly drained and does not increase the risk of flooding in accordance with policy CS1 of the Core Strategy.

32. Prior to practical completion of any property a verification report, appended with substantiating evidence demonstrating the agreed/approved construction details and specifications have been implemented, will need to be submitted and approved (in writing) by the Council. This will include photos of excavations and soil profiles/horizons, any placement of tanking, crating, connecting pipe work, hydrobrakes or control mechanisms, cover systems ...etc.

REASON: To ensure that the site is properly drained and does not increase the risk of flooding in accordance with policy CS1 of the Core Strategy.

In the event of the S106 agreement not being completed by 21st October 2022, the Assistant Director: Planning be authorised to either extend the period further or refuse the application for the following reasons: -

01. In the absence of a planning obligation to secure suitable avoidance and mitigation measures and access management monitoring arrangements, in terms that are satisfactory to the Local Planning Authority, the proposal would be contrary to Regulation 63(5) of the Conservation of Habitats and Species Regulations 2017 (as amended), Policy NRM6 of the South East Plan, Policy EN3 of the Bracknell Forest Borough Local Plan, Policy CS14 of the Core Strategy Development Plan Document and the Thames Basin Heaths Special Protection Area Supplementary Planning Document (2018).

02. The proposed development would unacceptably increase the pressure on highways and transportation infrastructure and public open space. In the absence of a planning obligation in terms that are satisfactory to the Local Planning Authority, and which secure contributions towards integrated transport and highway measures, open space and community facilities, the proposal is contrary to Policies R5 and M4 of the Bracknell Forest Borough Local Plan and CS6, CS8, and CS24 of the Core Strategy Development Plan Document and to the Planning Obligations SPD and the NPPF.

03. In the absence of a planning obligation to secure a 10% biodiversity net gain which would deliver measurable improvements for biodiversity by creating or enhancing habitats in association with the development the proposal is contrary to paras 8c and 170d of the NPPF.

04. It has not been demonstrated that the proposed development would incorporate a sustainable drainage system (SuDS) for the management of surface water run-off which would be maintained for the lifetime of the development. This is contrary to the House of Commons: Written Statement (HCWS161) Sustainable Drainage Systems 18/12/2014, the Flood Risk and Coastal Change PPG updated 15/04/2015, and the NPPF.

23. **21/00361/PARC Lavenir, Opladen Way, Bracknell**

Prior Notification requirement under Class AA of Part 20 of the GPDO for a two storey roof extension to form 42 apartments.

The Committee noted:

- The supplementary report tabled at the meeting.
- The representations from Bracknell Town Council recommending refusal.
- The 52 representations from 56 properties as summarised in the agenda.
- That a further 100 representations had been received as detailed in the supplementary report.

A motion to **APPROVE** the recommendation in the officer report was proposed but not seconded.

Therefore an alternative motion to refuse the application was proposed and seconded, and on being put to the vote was **CARRIED**.

RESOLVED that application 21/00361/PARC be **REFUSED** for the following reason:

01. The proposed design by virtue of its appearance does not respect the character or form of the original host building resulting in an unbalanced and overbearing appearance. The proposal is therefore considered to be contrary to Policies CS7 of the Core Strategy DPD, 'Saved' Policy EN20 of the Bracknell Forest Local Plan and HO8 of the Bracknell Town Neighbourhood Plan.

24. 21/01115/FUL 53 Upper Broadmoor Road, Crowthorne, Berkshire

Erection of single storey rear/side extension including loft conversion with formation of rear dormer and installation of rooflights and new porch canopy following demolition of existing porch.

The Committee noted:

- The supplementary report tabled at the meeting.
- The comments from Crowthorne Parish Council recommending refusal.
- The representations from neighbouring properties as summarised in the agenda.

RESOLVED that the application be **APPROVED** subject to the following conditions:

01. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with Section 91 of the Town and Country Planning Act 1990.

02. The development hereby permitted shall be carried out only in accordance with the following approved plans received by the Local Planning Authority on 24/11/2021:

Existing and proposed front and rear elevations dwg no. P/00621/04A,

Existing and existing and proposed side elevation west P/00621/03A,

Proposed ground floor and first floor plan P/00621/02A.

Upper floor and loft plan P/00621/05A,

Revised proposed side elevation EAST P/00621/06A- received 06/06/2022

Revised location plan rev B - received 18/07/2022

REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

03. The materials to be used on the external surfaces of the development hereby permitted shall match those on the approved plans received by the Local Planning Authority on 24/11/2021 and 06/06/2022.

REASON: In the interests of the visual amenities of the area.

[Relevant Policies: BFBLP EN20, Core Strategy DPD CS7]

04. The proposed first floor side landing window and the first floor rear bathroom hereby permitted shall not be glazed at any time other than with a minimum of Pilkington Level 3 obscure glass or equivalent. They shall always be fixed with the exception of a top hung openable fanlight.

REASON: To prevent the overlooking of neighbouring properties.

[Relevant Policies: BFBLP EN20]

25. **21/01154/FUL Whitegates, St Marks Road, Binfield**

Proposed side and rear extensions and alterations to enlarge existing residential accommodation (C3 use) and extension to existing 6 bedsits in connection with existing bed and breakfast accommodation (C1) and addition of parking space.

The Committee noted:

- The supplementary report tabled at the meeting.
- The comments of Binfield Parish Council recommending refusal.
- The 10 letters of objection as summarised in the agenda.

RESOLVED that the application be **APPROVED** subject to the following conditions:

01. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with Section 91 of the Town and Country Planning Act 1990.

02. The development hereby permitted shall be carried out only in accordance with the following approved plans received by the Local Planning Authority on 19th January 2022:

-Site plan

-MAK/21/03 (Proposed ground floor plan)

-MAK/21/04 (Proposed first floor plan)

-MAK/21/05 Rev A (Proposed elevations and site/roof plan)

REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

03. The materials to be used in the construction of the external surfaces of the development hereby permitted shall be of similar appearance to those of the existing building.

REASON: In the interests of the visual amenities of the area.

[Relevant Policies: BFBLP EN20, Core Strategy DPD CS7]

CHAIRMAN

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**PLEASE NOTE PLANS FOR ALL OF THE APPLICATIONS ON THIS
AGENDA CAN BE FOUND ON OUR WEBSITE
www.bracknell-forest.gov.uk**

**PLANNING COMMITTEE
18th August 2022**

**REPORTS ON PLANNING APPLICATIONS RECEIVED
(Head of Planning)**

		Case Officer	Reporting Officer
5	<p>20/00627/FUL Jemca Toyota Bracknell John Nike Way Binfield (Binfield With Warfield Ward) Structure for vehicle washing and valeting, including related drainage. Recommendation:</p>	Olivia Jones	Basia Polnik
6	<p>21/00507/REM Land North Of Tilehurst Lane and West Of South Lodge Tilehurst Lane Binfield (Binfield With Warfield Ward) Submission of reserved matters application to outline planning permission 17/01174/OUT for the approval of details of appearance, landscaping, layout and scale relating to the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features, with access from Tilehurst Lane. Recommendation:</p>	Jo Male	Jo Male
7	<p>21/00089/COND Land North Of Tilehurst Lane and West Of South Lodge Tilehurst Lane Binfield (Binfield With Warfield Ward) Details pursuant to Conditions 04 (Finished Floor Levels), 11 (Site Organisation), 12 (Working Method Statement), 14 (Biodiversity Enhancements), 23 (Surface Water Drainage Scheme), 24 (Drainage Strategy) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Recommendation: Approve.</p>	Jo Male	Jo Male
8	<p>22/00003/FUL 121 College Road College Town Sandhurst (College Town Ward) Revised scheme for erection of single storey</p>	Emma Sibley	Basia Polnik

rear extension following demolition of existing conservatory and installation of two air conditioning units.
Recommendation: Approve.

- | | | | |
|----|--|---------|---------|
| 9 | 22/00013/COND
Land North Of Tilehurst Lane and West Of South Lodge Tilehurst Lane Binfield (Binfield With Warfield Ward)
Details pursuant to Conditions 20 (Energy Demand Assessment) and Condition 21 (Water Efficiency) of planning permission 17/01174/OUT.
Recommendation: Approve. | Jo Male | Jo Male |
| 10 | 22/00080/COND
Land North Of Tilehurst Lane Tilehurst Lane Binfield (Binfield With Warfield Ward)
Detail pursuant to conditions 10 (cycle parking) and 17 (street lighting) of planning permission 17/01174/OUT
Recommendation: Approve. | Jo Male | Jo Male |

Background Papers

Background papers comprise the relevant planning application file and any document therein with the exception of any document which would lead to disclosure of confidential or exempt information as defined in section 100A of the Local Government Act 1972 as amended.

PLANNING COMMITTEE - POLICY REFERENCES

Key to abbreviations used in the following planning reports.

BFBLP Bracknell Forest Borough Local Plan
CSDPD Core Strategy Development Plan Document
SALP Site Allocations Local Plan
RMLP Replacement Minerals Local Plan
WLP Waste Local Plan for Berkshire

SPG Supplementary Planning Guidance
SPD Supplementary Planning Document

RSS Regional Spatial Strategy (also known as the SEP South East Plan)

NPPF National Planning Policy Framework (Published by DCLG)
NPPG National Planning Policy Guidance (Published by DCLG)
PPS (No.) Planning Policy Statement (Published by DCLG)
MPG Minerals Planning Guidance
DCLG Department for Communities and Local Government

SITE LOCATION PLAN

For information the plans are orientated so that north is always at the top of the page.

THE HUMAN RIGHTS ACT 1998

The Human Rights Act 1998 (“the HRA”) makes it unlawful for a public authority to act in a way that is incompatible with the rights set out in the European Convention of Human Rights.

Those rights include:-

Article 8 – “Everyone has the right to respect for his private and family life, his home.....”

Article 1 - First Protocol “Every natural or legal person is entitled to the peaceful enjoyment of his possessions”.

In some circumstances a local authority may be under an obligation to take positive action to protect an individuals interests under Article 8.

The relevant Convention Rights are not absolute. A Council may take action even though it interferes with private and family life, home and enjoyment of possessions, if it is for a legitimate purpose, necessary and proportionate. In effect a balancing exercise has to be conducted between the interests of the individual and the wider public interest.

Such a test very largely replicates the balancing exercise which the Council conducts under domestic planning legislation.

The provisions of the Human Rights Act 1998 have been taken into account in the preparation of the reports contained in this agenda.

The Human Rights Act will not be specifically referred to elsewhere [in the Agenda] beyond this general statement, unless there are exceptional circumstances which require a more

detailed consideration of any Convention Rights affected.

Unrestricted Report

ITEM NO: 5

Application No.
20/00627/FUL
Site Address:

Ward:
Binfield With Warfield

Date Registered:
8 September 2020

Target Decision Date:
3 November 2020

**Jemca Toyota Bracknell John Nike Way Binfield
Bracknell Berkshire RG12 8TN**

Proposal: **Structure for vehicle washing and valeting, including related drainage**

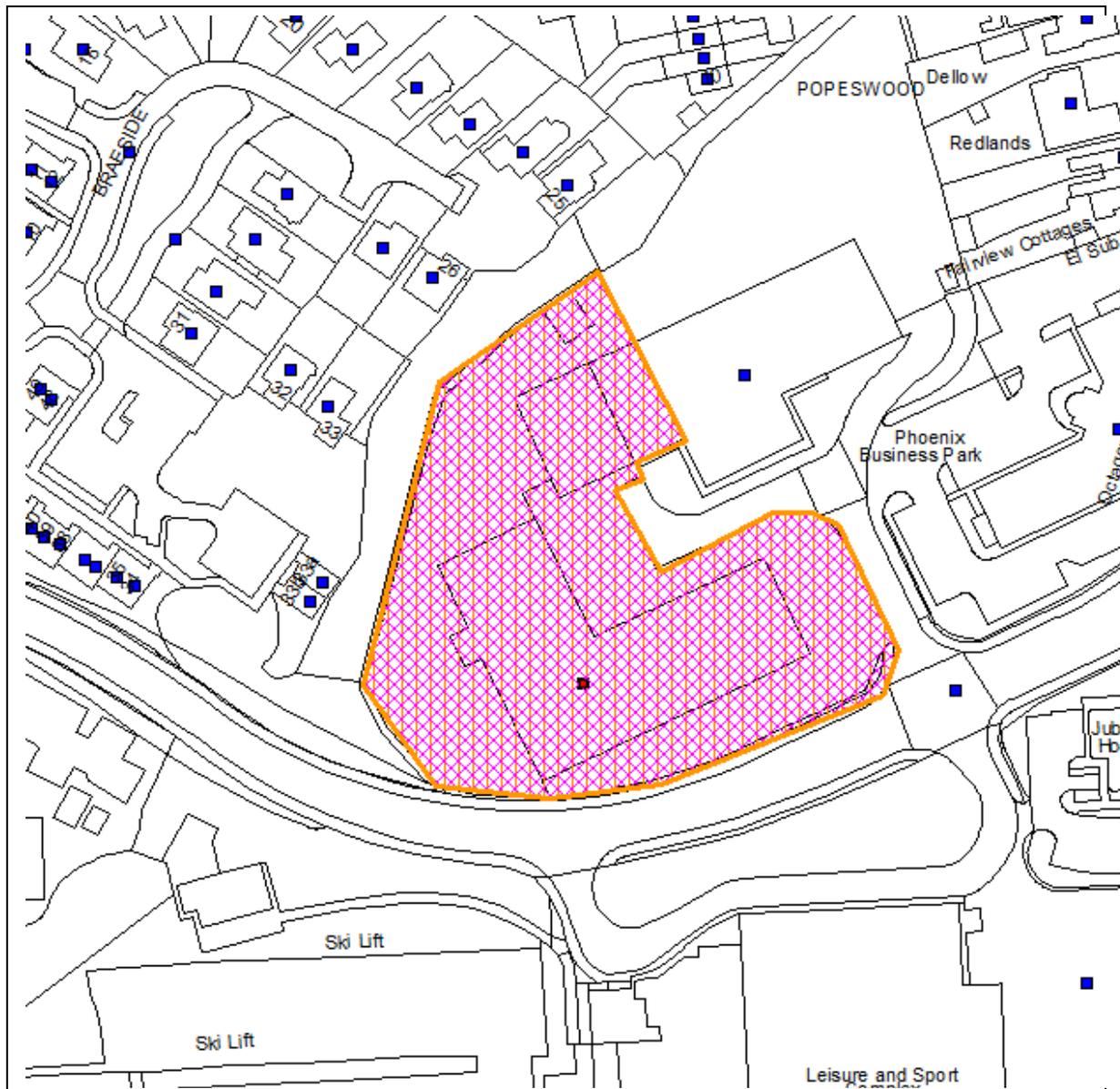
Applicant: Mr Bavinder Jagdev

Agent: Mr Tim Waller

Case Officer: Olivia Jones, 01344 352000

Development.control@bracknell-forest.gov.uk

Site Location Plan (for identification purposes only, not to scale)



1. SUMMARY

- 1.1 Planning permission is sought for the erection of a covered structure to provide car washing and valeting services within the car park of Jemca Toyota. This application is retrospective.
- 1.2 The development relates to a site within the settlement boundary and is therefore acceptable in principle. The scheme is not considered to adversely impact upon the character and appearance of the surrounding area, or the residential amenities of neighbouring occupiers. There is not considered to be an adverse impact on highway safety or drainage.

RECOMMENDATION

Planning Permission be granted subject to the conditions in Section 11 of this report.
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2. REASON FOR REPORTING APPLICATION TO THE PLANNING COMMITTEE

- 2.1 The application is being reported to the Planning Committee as it has received more than 5 objections and is recommended for approval.

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS

Within a defined settlement boundary

- 3.1 The structure is located within the car park of Jemca Toyota, a car dealership accessed from John Nike Way. The structure is located to the north of the site, separated from the residential street Braeside by a strip of vegetation.

4. RELEVANT SITE HISTORY

- 4.1 The relevant planning permissions relating to the site are as follows:

608991

Outline Application for the demolition of existing buildings and erection of new buildings to house the existing building merchants, builders yard and haulage and plant depot.

Appeal Allowed 1985

614309

Erection of 3 single storey buildings comprising of 4180 sq.m floorspace to house existing builders merchants yard, haulage depot and plant depot. Demolition of existing workshop.

Approved 1989

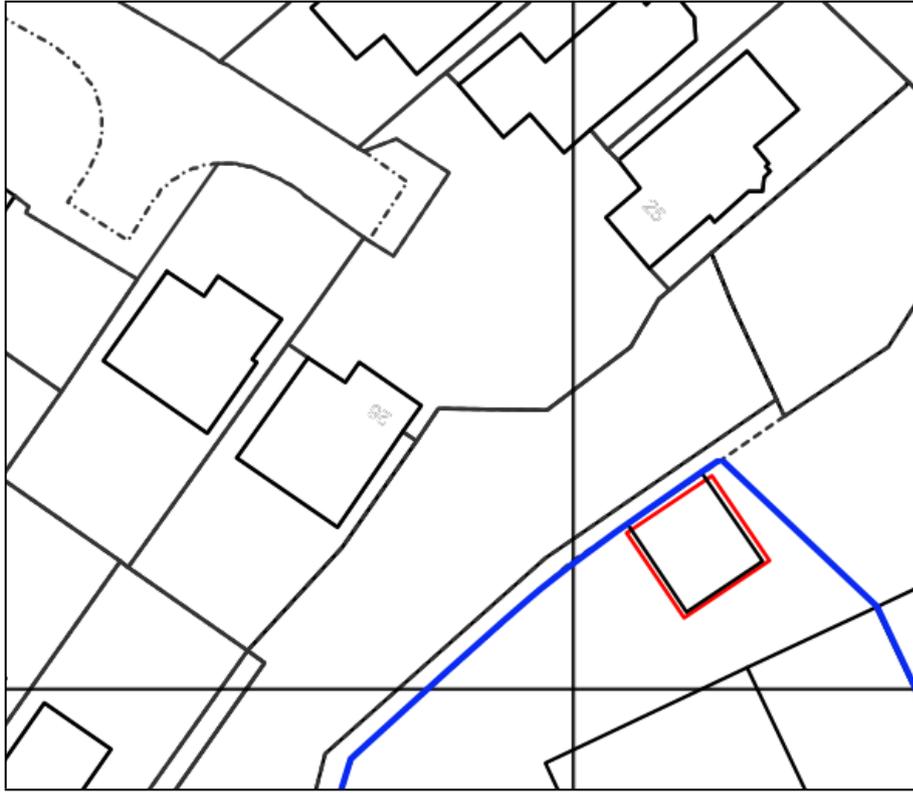
03/00948/FUL

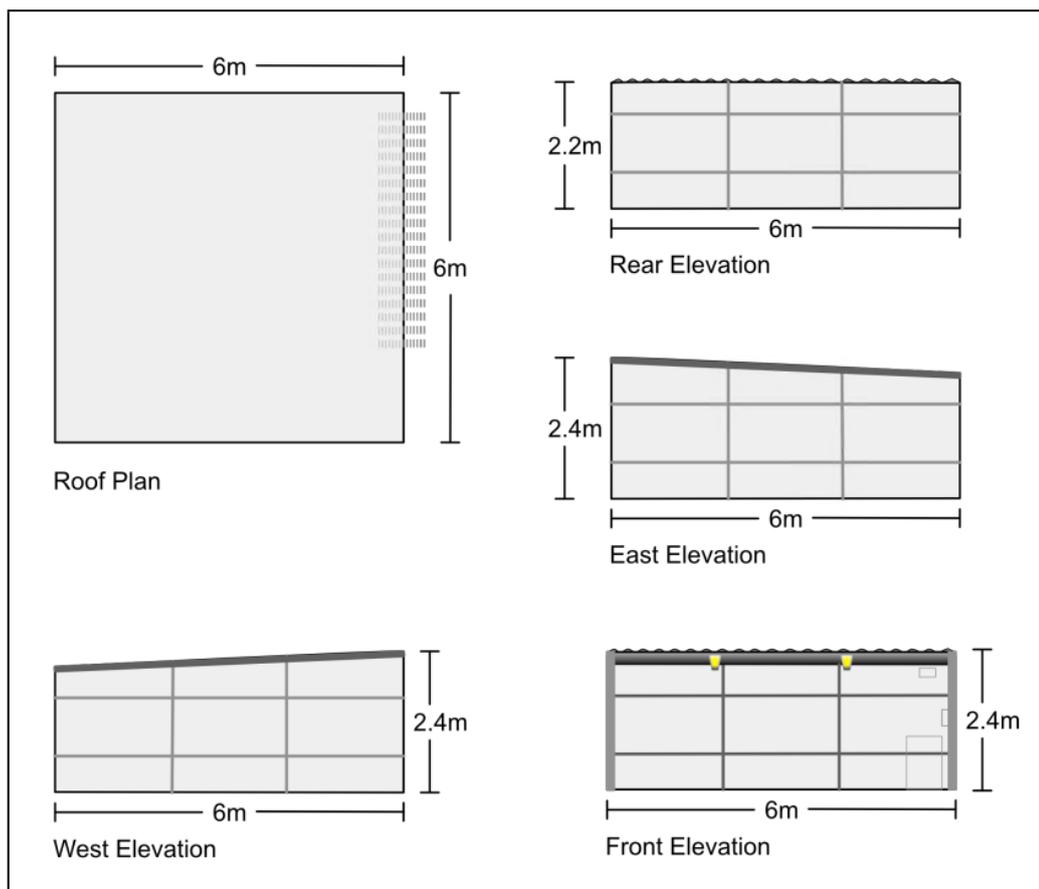
Application for entrance way amendment and revised external treatment.

Approved 2003

5. THE PROPOSAL

- 5.1 The structure is a single storey covered canopy, measuring 6 metres x 6 metres, with a maximum height of 2.4 metres. The structure is used for the washing and valeting of cars in association with the Jemca Toyota dealership.





6. REPRESENTATIONS RECEIVED

Binfield Parish Council

6.1 Object on the following grounds:

- (i) This is an unneighbourly development and is causing significant interruption to the quiet enjoyment of nearby residents' properties
- (ii) Retrospective planning applications are inappropriate and businesses should know better than to start operations without appropriate permissions in place.

Other Representations

6.2 Letters of objection were received from the occupiers of ten neighbouring dwellings raising the following concerns:

- (i) Noise and disruption
- (ii) Pollution from car fumes and dirt/dust

7. SUMMARY OF CONSULTATION RESPONSES

Environmental Health Officer

7.1 No objection

Drainage Officer

7.2 No objection

Highway Authority

7.3 No objection

8. MAIN POLICIES AND OTHER DOCUMENTS RELEVANT TO DECISION

8.1 The key policies and guidance applying to the site and the associated policies are:

	Development Plan	NPPF
General policies	CP1 of SALP, CS1 & CS2 of CSDPD	Consistent (except for CP1 of SALP which is not wholly consistent)
Design	CS7 of CSDPD, Saved policy EN20 of BFBLP, BF1 of the Binfield Neighbourhood Plan	Consistent
Residential Amenity	Saved policies EN20 and EN25 of BFBLP, BF1 of the Binfield Neighbourhood Plan	Consistent
Parking & Transport	Saved policy M9 of BFBLP, CS23 of CSDPD	Consistent
Drainage	CS1 of the CSDPD	Consistent
Supplementary Planning Documents (SPD)		
Design SPD		
Other publications		
National Planning Policy Framework (NPPF) 2021 and National Planning Policy Guidance (NPPG)		

9. PLANNING CONSIDERATIONS

9.1 The key issues for consideration are:

- i. Principle of development
- ii. Impact on character and appearance of surrounding area
- iii. Impact on residential amenity
- iv. Drainage
- v. Highway safety

i. Principle of Development

9.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise, which is supported by the NPPF (paras. 2 and 12). Policy CS2 of the CSDPD states that development will be permitted within defined settlements. This is provided that the development is consistent with the character, accessibility and provision of infrastructure and services within that settlement. The above policy is considered to be consistent with the NPPF, and as a consequence is considered to carry significant weight.

9.3 The site is adjacent to a residential area and within a defined settlement on the Bracknell Forest Borough Policies Map (2013). As a result, the proposed development is considered acceptable in principle, subject to no adverse impact on the amenity of the neighbouring occupiers, upon the character and appearance of the area, highway safety, drainage etc.

ii. Impact on Character and Appearance of Surrounding Area

9.4 CSDPD Policy CS7 states that development will be permitted which builds upon the local character of the area, provides safe communities and enhances the local landscape where possible. BFBLP 'Saved' Policy EN20 states that development

should be in sympathy with the appearance and character of the local area. It further states that the design of the development should promote local character and a sense of local identity. Policy BF1 of the Binfield Neighbourhood Plan states that all infill and backland development will reflect the scale, mass, height and form of neighbouring properties.

- 9.5 The structure under consideration is located to the northern part of the site, behind the main building when viewed from John Nike Way. As such, the structure is screened from views from this highway.
- 9.6 The structure is located south of the boundary with Braeside, a residential street. The structure has a maximum height of 2.4 metres and is located on land lower than Braeside which reduces the impact of the structure on the streetscene. In addition, the boundary of the site is lined with vegetation providing screening from the highway. As such, it is not considered that the structure is unduly prominent from public views on Braeside. Any private views of the structure from the surrounding dwellings would not be a material planning consideration and therefore cannot be considered.
- 9.7 It is therefore considered that the development does not result in an adverse impact on the character and appearance of the area and would be in accordance with CSDPD Policy CS7, BFBLP 'Saved' Policy EN20 or the NPPF.

iii. Impact on Residential Amenity

- 9.8 'Saved' policy EN20 of the BFBLP states that development will not adversely affect the amenity of surrounding properties and adjoining area. 'Saved' policy EN25 of the BFBLP states that development is not permitted which generates unacceptable levels of noise or other pollution. Paragraph 130 of the NPPF states that the Local Planning Authority should ensure high quality amenity for all existing and future users. Policy BF1 of the Binfield Neighbourhood Plan states that all infill and backland development should protect the amenity of neighbours.
- 9.9 The application site consists of a car dealership. As such, the car park can be used for the washing and valeting of cars for the purposes of running the dealership without the need for planning permission. Therefore, the fall back position for the applicant is to perform car washing and valeting in the same place as the proposed structure, but without any canopy or other building/structure.
- 9.10 Since the planning application was submitted the applicant has made the following improvements to the structure:
- Replacement of the original steam cleaner with a lower pressure steam cleaner which generates less noise
 - Reduction on cleaning hours, to no later than 5pm.
- Neighbouring properties were reconsulted once these improvements were undertaken, and only one response was received maintaining concerns regarding the scheme.
- 9.11 The applicant has submitted a noise survey based on the current situation (taking into account the improvements listed above) which includes recommendations for methods to limit noise escaping from the structure. These consist of:
- Introducing a layer of insulated panel
 - Sealing all gaps between wall panels, roof and upright structural elements

9.12 The noise survey concludes that there is a small worsening on noise levels impacting local residents compared with that without the car washing facility of +1dB rating level above background. The Council's Environmental Health Officer has reviewed the noise survey, and is satisfied that, subject to the noise limitation methods proposed, and a limit on the hours of operation, the scheme is not considered to have a significant adverse impact on residential amenity.

9.13 Subject to conditions limiting hours of operation and the implementation of the mitigation methods proposed, it is considered that the submitted scheme does not result in a significant increased impact on residential amenity, in particular taking into account the fall back position of undertaking the car washing and valeting in the same location without a covering structure.

iv. Drainage

9.14 CSDPD Policy CS1 states that development shall protect and enhance the quality of natural resources including water. This is consistent with the NPPF paragraphs 167 and 165 which state that decision makers should ensure flood risk is not increased elsewhere when determining planning applications, and that, where appropriate, applications should be supported by flood risk assessments and incorporate sustainable drainage systems (SuDS).

9.15 The application submitted includes a plan setting out details of drainage for the scheme. This has been reviewed by the Council's Drainage Officer who is satisfied the development does not result in an adverse impact on the drainage infrastructure or result in unacceptable surface water flooding.

v. Highway Safety

9.16 'Saved' policy M9 of the BFBLP ensures that development provides satisfactory parking provision. A further material consideration for parking provision is provided in Bracknell Forest Council's adopted Parking Standards SPD. The NPPF advises that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

9.17 The structure is located in the rear part of the development within an area used for operational purposes in connection with the car dealership. The Highway Authority has reviewed the scheme and, subject to the structure being used by Jemca Toyota as part of their existing use, do not consider that any noticeable impact would occur over the day to day operations of the site. If a third party were to use the building this would likely require separate access and parking, and therefore it is recommended that the structure is retained by condition to be ancillary to the main use.

10. CONCLUSIONS

10.1 It is considered that the development is acceptable in principle due to being located within the settlement boundary. It does not result in any unacceptable adverse impact on the character and appearance of the surrounding area, drainage or highway safety, nor would the development result in a detrimental impact on the residential amenity of the neighbouring properties or future occupiers. It is therefore considered that the proposed development complies with 'Saved' policies of the BFBLP and Policies of the CSDPD, the Binfield Neighbourhood Plan and the NPPF (2021).

11. RECOMMENDATION

11.1 That the application be **APPROVED** subject to the following conditions amended, added to or deleted as necessary:

01. The development hereby permitted shall be carried out only in accordance with the following approved plans and documents:

Site Location Plan - Received 08.09.20
Site Plan - Received 08.09.20
Drainage Details - Received 08.09.20
Roof Plan and Elevations (002/A) - Received 08.09.20
Karcher Washer Specifications - Received 17.03.22
Activity Noise Assessment - Received 08.07.22

REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

02. The operating hours of the structure hereby permitted shall be limited to the following times:

08:00 – 17:00 Monday to Friday
09:00 – 17:00 Saturday
And no operation at any time on Sundays or public holidays.

REASON: In the interests of the amenity of residents.

[Relevant plans and policies: BFBLP EN20, CSDPD CS7]

03. The structure hereby permitted shall only be used in an ancillary capacity to the car dealership known as Jemca Toyota.

REASON: An independent use would require additional parking and access.

04. Within one month of the date of this permission the noise control measures set out in activity noise assessment (Syntegra, June 2022, ref: 22-9315 rev A), submitted with the application, shall be implemented and maintained as such. Vehicle cleaning shall only take place within the bay structure hereby permitted.

REASON: To protect occupiers of nearby premises from noise

Informatives

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.

2. Although they must be complied with, no details are required to be submitted in relation to the following conditions:

1. Approved Plans
2. Operating Hours
3. Ancillary Use
4. Noise Control Measures

OFFICER REPORT

1. SUMMARY

- 1.1 This is a reserved matters application submitted pursuant to outline planning permission 17/01174/OUT. This permission, granted on appeal, permitted the erection of 40 dwellings, including 10 affordable units, together with the provision of parking, a play area, landscaping and an attenuation pond, with access from Tilehurst Lane. This reserved matters application considers the scale, layout, appearance and landscaping of the proposed dwellings.
- 1.2 The proposed layout is considered to be acceptable in terms of the development's impact on the character of the area. Revisions have been secured to ensure that the layout is more informal, responding to the semi-rural context of the site and allowing for tree planting within the streetscene. These amendments are also considered to be more sympathetic to the setting of adjoining Listed Buildings.
- 1.3 The scale and appearance of the dwellings are considered appropriate to the local character and parking has been provided to meet adopted standards.
- 1.4 A landscape masterplan has been submitted that provides for the landscaping of the site and the retention of mature trees on the site boundaries.

RECOMMENDATION
Planning permission be granted subject to the conditions set out in Section 11 of this report

2. REASON FOR REPORTING APPLICATION TO COMMITTEE

- 2.1 The application has been reported to the Planning Committee because it has received more than 5 objections. It originally appeared on the agenda of the Committee held on 19th May 2022. However, it was deferred from consideration at that meeting to allow it to be considered in conjunction with 3no. other applications which submit details pursuant to the original outline permission (refs: 21/00089/COND, 22/00013/COND and 22/00080/OND) which appear elsewhere on this agenda.

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS
Countryside
Site lies beyond the 5km buffer to the Thames Basin Heaths SPA

- 3.1 The application site extends 3.21ha and comprises undeveloped grassland divided into three grazing paddocks, located on the northern side of Tilehurst Lane. The land originally formed part of the parkland to Binfield Park, a Grade II* Listed Building, which is located to the north of the site. To the north-west lies a further paddock, and to the west lies an area of woodland associated with the Park Lodge Day Nursery which is located at the junction of Tilehurst Lane and Terrace Road North. There is a fall across the application site of approximately 13m in a north-west to south-east direction.

- 3.2 The site's southern boundary with Tilehurst Lane is characterised by a verge and ditch with tree and shrub planting which extends into the site. Immediately adjacent to the site's eastern boundary is a cattery and the Grade II listed South Lodge, together with entrance gate piers which are also associated with Binfield Park and which are Grade II listed.
- 3.3 The site is located within the countryside immediately adjacent to the settlement boundary of Binfield as identified on the Bracknell Forest Borough Policies Map (2013). This also identifies Tilehurst Lane as part of the Binfield Bridleway Circuit.
- 3.4 The site is located beyond the 5km buffer to the Thames Basin Heaths SPA and it was accepted at outline application stage that, given the scale of the development, it would not, either individually or cumulatively have a significant effect on the conservation objectives of the Thames Basin Heaths Special Protection Area.

4. RELEVANT SITE HISTORY

- 4.1 In 2017 an outline planning application (17/01174/OUT) was submitted proposing the erection of forty houses, including 10 affordable houses together with provision of parking, a play area, landscaping and an attenuation pond, with access from Tilehurst Lane. This application was refused, but was ultimately allowed on appeal (ref: APP/R0335/W/19/3228697) following a public inquiry. The permission was granted subject to conditions which included securing the provision of a 'heritage park' on the site's western side which would provide publicly accessible open space.

Details of recent applications relating to the site are set out below:

19/00213/COND - Details pursuant to condition 26 (Heritage Park) of planning permission 17/01174/OUT in relation to appeal reference APP/R0335/W/19/3228697. Approved.

21/00006/COND Details pursuant to Condition 22 (Archaeological Evaluation) of planning permission 17/01174/OUT (Permission granted on Appeal Ref. APP/R0335/W/19/3228697). Approved.

21/00014/COND Details pursuant to condition 7 (Tree Protection) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00037/COND Details pursuant of to Condition 19 (Updated Ecological Appraisal) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00089/COND Details pursuant to Conditions 4 (Finished Floor Levels), 11 (Site Organisation), 12 (Working Method Statement), 14 (Biodiversity Enhancements), 18 (Newt Mitigation Measures), 23 (Surface Water Drainage Scheme), 24 (Drainage Strategy) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Appears elsewhere on agenda.

22/00008/COND Details pursuant to condition 15 (works to trees in bird nesting season) of planning permission 17/01174/OUT. Approved.

22/00013/COND Details pursuant to Conditions 20 (Energy Demand Assessment) and 21 (Water Efficiency) of planning permission 17/01174/OUT. Appears elsewhere on this agenda.

22/00080/COND Details pursuant to Condition 10 (cycle parking) and 17 (External lighting) of planning permission 17/01174/OUT. Appears elsewhere on this agenda.

5. THE PROPOSAL

- 5.1 This reserved matters application provides details of the scale, layout, appearance and landscaping of 40 dwellings following the grant of planning permission 17/01174/OUT.
- 5.2 The proposed dwellings are located on the lower, more easterly part of the site consistent with the indicative layout considered at outline stage. The rising ground on the site's western and north-western side has been secured as an area of public open space, known as the 'Heritage Park' under the terms of the outline permission and details of its layout and landscaping have already been approved pursuant to a condition of the outline permission.
- 5.3 The approved vehicular access to the site, is from a point just east of Pound Place which is located on the southern side of Tilehurst Lane, with pedestrian access points and associated crossings, being approved at each end of the site's road frontage. The installation of these access points will require some removal of the existing hedgerow along Tilehurst Lane and its 'facing back' in order to achieve the required visibility splays, a consequence of the development considered acceptable by the Inspector. The remainder of the hedge would be retained and a footway provided within the site's boundary, linking the 2no. pedestrian access points and providing links through to the public open space.
- 5.4 The proposed plans show an exclusively two storey development, comprising a mix of detached, semi-detached and terrace units as well as a small apartment block at the eastern end of the site. SuDS features are shown in the form of swales adjacent to the footway along the site's frontage and in its south-eastern corner.
- 5.5 Parking is shown on curtilage, some within garages, or within small parking courts, some of which include open car ports. Ten visitor parking spaces are provided throughout the development.
- 5.6 A detailed scheme for both soft and hard landscaping has been submitted including details of boundary treatments.

6. REPRESENTATIONS RECEIVED

Binfield Parish Council:

- 6.1 Binfield Parish Council's response in relation to the application as originally submitted indicated that they wished to register the following OBSERVATIONS:
 - There are concerns over the site layout with a lack of green area for the affordable housing, which have the smaller gardens, with the central green being located by the larger properties with large gardens;
 - The affordable housing is grouped together in one corner of the site rather than distributed across the site;

- There is a lack of suitable boundary treatment to the north of the site – would expect this to be a minimum of a 1.8m closed board fence to protect the privacy of the neighbouring properties.
- Concerns about the adequacy of the drainage for the site due to a lack of a detailed drainage plan and this leads to concerns that this development will exacerbate flooding already present along Tilehurst Lane.
- Visitor parking is not well distributed across the site.
- Would like to see conditions in place to protect the well established hedgerows (in front of the swale) and ensure this remains well looked after for biodiversity and not just screening.

6.2 Binfield Parish Council were re-consulted on the amended plans and responded:

Binfield Parish Council has no further comment to make on this application but are satisfied that some of their earlier comments have been addressed.

Representations from Members of the Public

6.3 Nine letters of representation have been received, 8 of which object to the scheme, and 1 which makes more general observations.

The objection letters raise the following material considerations:

- Insufficient/inappropriate parking provision, including lack of visitor provision, across the site
- Over intensive use of site with excessive number of cars and traffic movements onto Tilehurst Lane
- Inadequate green space/park for residents
- Use of Tilehurst Lane, Terrace Road North and mini-roundabout at their junction with Stevenson Drive by HGVs will pose threat to highway safety
- Applicant's statement argues that dwellings will read as an 'Estate development with a strong association with Binfield Park' however development has no association with Binfield Park and will be detrimental to its landscape setting
- Planning Statement refers to opportunities for views over existing Binfield Park landscape but this will lead to a loss of privacy to The Walnut Tree and The Old Orangery
- Loss of privacy to occupiers of The Walnut Tree from footpath adjacent to Plot 1
- Vehicle movements causing highway danger
- Insufficient boundary screening along sites northern edge
- Concern about future maintenance of approved fencing or planting
- Concern about loss of hedgerow along Tilehurst Lane which should be kept to a minimum
- Inaccuracies in applicant's statement.

6.4 The observations made question whether this plan for development has already been debated; make a comment on whether the Council is prepared to destroy remaining trees and countryside so that Binfield ultimately becomes a suburb of Bracknell; and states that an argument that housing is urgently required would be better made if the development was for 40 affordable dwellings.

7. SUMMARY OF CONSULTATION RESPONSES

Highway Officer

No objection subject to conditions.

Local Lead Flood Authority (LLFA)

Consulted in relation to application 21/00089/COND which submits details of drainage scheme pursuant to outline permission and confirms that the submitted details are acceptable.

Urban Design Officer

Supports the application subject to the resolution of a number of issues relating to landscaping and boundary screening which have been addressed through the submission of revised plans.

Historic England

No comments made. Recommends seeking views of Council's own conservation and archaeological advisors. [Officer Note: Archaeology was considered at outline stage, with a condition requiring further archaeological investigation being imposed and subsequently discharged under application ref: 21/00006/COND].

Heritage Advisor

The amendments to the proposed layout and detailing of houses closest to the Listed South Lodge are considered to be more sympathetic to the setting of the Listed Buildings. These changes, which in combination with the use of good quality materials, when submitted, would be considered more appropriate to the setting of the Listed Buildings and there are no further comments.

Waste and Recycling Officer

The bin store for flats 37-40 is large enough for the bins required. All other properties must present bins to the nearest adopted road or RCP on collection day and stored within the property boundary at all other times.

Affordable Housing

Housing mix of affordable units is acceptable.

Parks and Countryside Manager

Raised concern in relation to original submission which showed back garden boundaries facing onto pedestrian route, changing its character, removing surveillance and increasing risk of low quality maintenance of vegetation. [Planning Officer note: These concerns have been addressed in amended plans].

Landscape Officer

Proposed landscaping acceptable.

Biodiversity Officer

Raised concerns about non-native planting, lack of mammal access points within fences, and proposed location of log piles for reptiles and amphibians. These issues have been addressed on the amended landscape plans.

8. DEVELOPMENT PLAN

8.1 The Development Plan for the Borough includes the following:

Site Allocations Local Plan (2013) (SALP)
Core Strategy Development Plan Document (2008) (CSDPD)
'Saved' Policies of the Bracknell Forest Borough Local Plan (2202) (BFBLP)
'Retained' Policies of the South East Plan (2009) (SEP)
Bracknell Forest Policies Map (2013)

The application site also lies within the designated Binfield Neighbourhood Plan area such that the Binfield Neighbourhood Plan (2016) also applies.

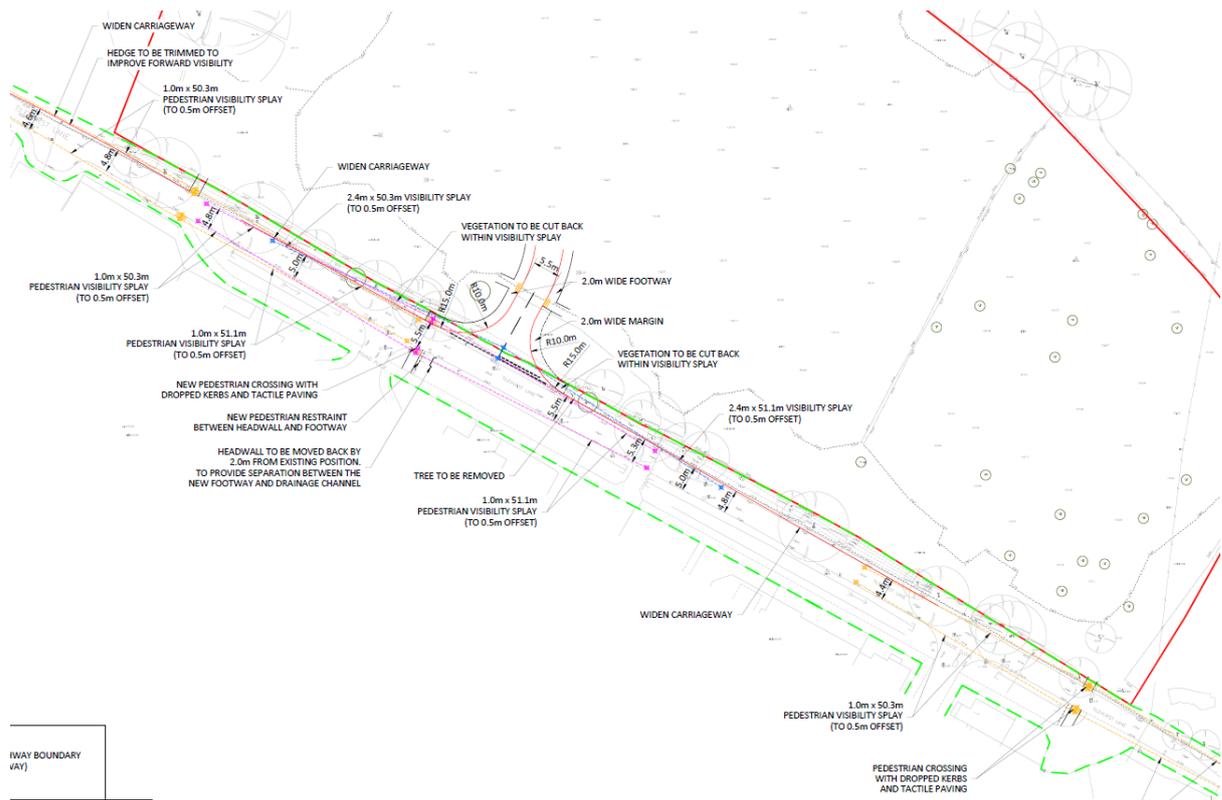
9. PLANNING CONSIDERATIONS

9.1 The key issues for consideration are:

- i. Principle of Development
- ii. Impact on the Character and Appearance of the Area.
- iii. Heritage Impact
- iv. Impact on Highway Safety
- v. Impact on Residential Amenity
- vi. Landscaping and Trees
- vii. Biodiversity
- viii. Drainage
- ix. Waste
- x. Affordable Housing
- xi. CIL

i. Principle of Development

9.2 The principle of the development has been established under the outline planning permission 17/01174/OUT. This determined the issue of access only. The approved access arrangements show the creation of a new access onto Tilehurst Lane just south-east of the junction with Pound Place and the provision of 2no. pedestrian access points from the site onto Tilehurst Lane which would be provided with crossing points to the existing footpath on the southern side of Tilehurst Lane. An extract of the plan showing the approved access arrangements is provided below:



9.3 This reserved matters application submits details of the scale, layout, appearance and landscaping of the development and the acceptability of each is considered in the following sections.

ii. Impact on Character and Appearance of the Area

9.4 Policy CS7 of the CSDPD seeks a high quality of design for all development in Bracknell Forest. This should be achieved by building upon the local character, respecting local patterns of development and enhancing the landscape.

Scale

9.5 The scale of the development is consistent with the outline permission which granted consent for forty houses including ten affordable houses. Despite the description of the development as houses, the indicative layout considered by the Inspector included a small block of flats at the southern end of the site. The reserved matters application is consistent with this approach, proposing a total of 40no. dwellings, to be provided in a mix of detached, semi-detached and terraced units together with a small block of 4no. flats one of which would be wheelchair accessible. The development would be a maximum of two storeys throughout.

9.6 The mix of the proposed development is set out below and it is compared with the indicative layout considered at appeal.

Indicative Appeal Scheme		Reserved Matters Application	
Market	Affordable	Market	Affordable
2 x 1 bed flats	4 x 1bed flats		4 x 1 bed flats
	1 x 2bed flat		1 x 2bed flats
9 x 2 bed houses	2 x 2 bed houses	11 x 2 bed house	2 x 2 bed houses

12 x 3 bed houses	2 x 3 bed houses	12 x 3 bed house	2 x 3bed houses
3 x 4 bed houses	1 x 4 bed house	2 x 4 bedroom	1 x 4 bed house
4 x 5 bed houses		5 x 5 bedroom	

9.7 The character of development within Tilehurst Lane is predominantly two storey and it is considered that the scale of the development and mix of units proposed is appropriate and respects the local pattern of development.

Layout

9.8 The layout shown on the submitted plans broadly reflects that of the indicative layout considered by the Inspector.



Indicative Layout considered at Appeal



Proposed Layout

- 9.9 The main access road extends across the depth of the site, providing views through to the belt of trees which form part of the landscape setting to Binfield Park and which are located beyond the site's northern boundary. Shared access drives are provided to east and west of this central road and allow more informal treatment of the road surfacing and maximise the potential for greening and tree planting within the streetscene.
- 9.10 A footway is shown across the frontage of the site, set back behind the retained hedgerow and linking the 2no. pedestrian access points onto Tilehurst Lane. These were approved at outline stage, with an internal path that provides access to the 'heritage park' to the north-east of the housing, an area of public open space to serve the development and the wider community.
- 9.11 Amendments to the layout have been secured in order to ensure that the majority of dwellings face onto this pedestrian access, providing surveillance and ensuring the development has an appropriate relationship with the site's frontage to Tilehurst Lane.
- 9.12 The small block of apartments at the site's eastern end is linked by a unit above a central archway to a pair of semi-detached properties. It has been sited so as to conclude the view down the east-west axis and its elevational treatment provides visual interest in concluding this vista.

- 9.13 Immediately to its south, is the attenuation pond, a SuDS feature required by the drainage strategy approved at outline stage. At the time of the appeal, the indicative layout showed the pond stretching across the depth of the site at its southern end, with development to its west, adjacent to the Grade II Listed lodge. Detailed drainage information submitted pursuant to conditions attached to the outline permission have facilitated a redesign of the drainage scheme resulting in swales being located along the site's southern edge close to the houses and within the south-eastern corner of the site at the point closest to the curtilage of this Listed Building. The retention of this area as undeveloped land, is considered to improve the relationship between the built form and this heritage asset.
- 9.14 As originally submitted, the proposed layout was considered to be too formal for this edge of settlement site and amendments were sought to ensure that the layout was more organic and informal in order that it respond more appropriately to the semi-rural context of the site. The layout and grain of the development now appears less suburban and the road layout and use of shared surfaces allows for tree planting within the streetscene. The Urban Design Officer has confirmed that she is now generally supportive of the scheme and the layout of the development is considered acceptable.

Appearance

- 9.15 The design of the units is traditional, employing pitched roofs and simple gable features. Many have porches or chimney features and architectural detailing is provided by projecting elements, quoins and soldier coursing. A number of units located in visually significant locations along the site's main access road or adjacent to the proposed footway are dual or triple aspect in order to provide appropriate surveillance and visual interest within the streetscene.



Example of dwelling at site entrance (Plot 14)



Example of semi-detached dwellings (Plots 22 and 23)



Plots 34 – 39 (Plots 36, 38 and 39 Affordable).

9.16 Materials are noted within the design statement as being brick with tile roofs, and with some units employing vertical tile hanging or timber boarding. In response to comments made by the Urban Design Officer, the use of render has been removed from the scheme. The houses would be traditionally detailed with cills and heads to windows and the car barns would be timber clad. No details of the proposed materials have been submitted and this matter can be dealt with by means of a condition.

9.17 The proposal is considered to be of an appropriate layout, scale and appearance to be sympathetic to the character and appearance of the area and therefore comply with Policy CS7 of the CSDPD and EN20 of the BFBLP.

iii. Heritage Impact

- 9.18 The development of the application site has the potential to impact upon the significance of designated heritage assets as a result of development within their setting, including the Grade II* Binfield Park and Grade II Listed South Lodge and the adjacent Grade II Listed Entrance Piers. This issue was considered by the Inspector when allowing the appeal who also considered the impact of the development on the significance of the site which forms part of the former parkland to Binfield Park as a non-designated heritage asset.
- 9.19 In allowing, the development, the Inspector concluded that the development would be harmful to the heritage significance of Binfield Park, South Lodge and Gate Piers, Western Gate Piers and the former parkland, however that when applying the 'heritage balance' set out in the NPPF, the public benefits of the scheme outweighed the harm identified.
- 9.20 Whilst the principle of development within the setting of the aforementioned listed buildings has therefore been established and a level of harm to the significance of the heritage assets accepted, the current application has been assessed in terms of any particular impact on these assets resulting from the scale, appearance or layout of the proposed development.
- 9.21 Historic England were consulted in respect of the proposal, given its potential impact upon a Grade II* Listed Building but made no comments. The Council's Heritage Advisor, initially raised concerns in respect of the rigid, suburban form of the layout which failed to respond to the historical context and character of the site and to the utilitarian design of those units closest to South Lodge which were considered unsympathetic to the setting of this listed building. However, in relation to the revised plans the Heritage Advisor confirms:
- 'The amended site layout plans have been amended to include a less rigid and formal layout on This has included a more sinuous appearance to the street layout, less regular locations for the housing along the streets, and changes to the design of the units at the eastern end closest to the Listed South Lodge to increase architectural interest as well as changes to the area of the swale closest to South Lodge so it now remains undeveloped'.
- 9.22 The comments conclude: 'The amendments to the proposed overall layout and detailing of houses closest to the Listed South Lodge are considered to be more sympathetic to the setting of the Listed Buildings. These changes, which in combination with the use of good quality materials, when submitted, would be considered more appropriate to the setting of the Listed Buildings and there are no further comments'.
- 9.23 In light of this advice and given that the principle of the development has been established, it is considered that the appearance, layout and scale of the development is now acceptable in heritage terms.

iv. Impact on Highway Safety

- 9.24 Means of access was determined at outline stage at which time consideration was given to the impact of trips on the wider network and also the visual impact of creating new access points onto Tilehurst lane. Parking has been provided to meet adopted car parking standards and is provided in a variety of forms throughout the

development. The Highways Officer has confirmed that there are no objections to the proposed development subject to appropriate conditions.

v. Impact on Residential Amenity

- 9.25 Saved Policy EN20 of the BFBLP seeks to protect the amenity of surrounding properties. This policy requires the Council to have regard to ensuring that new development does not adversely affect the amenity of surrounding properties and adjoining areas.

Existing Residents

- 9.26 The nearest residential properties are situated to the south of the site on the opposite side of Tilehurst Lane. Those properties in Pond Place have a side to front relationship with the proposed new development at a distance of over 28 metres. Given this degree of separation, and the intervening boundary screening along Tilehurst Lane which is to be retained as part of the development, the site will be developed without affecting the amenities of existing residents in terms of a loss of light, loss of privacy or an overbearing impact.

Future Occupiers

- 9.27 Overall the proposed layout provides the dwellings with an acceptable level of amenity in terms of separation distances. Each house is provided with an enclosed garden area, and there is a limited amount of space around the flats, between them and the swale feature, to serve these units.
- 9.28 Accordingly, the proposal is considered to preserve the amenities of both existing and future occupiers and comply with Policy EN20 (g) of the BFBLP.

vi. Landscaping and Trees

- 9.29 Concern has been expressed by local residents in respect of the impact of the development on the existing hedgerow along Tilehurst Lane and this was a matter that was considered in detail during the course of the appeal. In allowing the appeal (known as Appeal A), and the conjoined appeal relating to the 53 unit scheme further east along Tilehurst Lane which was known as Appeal B, the Inspector recognised that the introduction of development on this site would have an impact on the character of Tilehurst Lane stating:

'The most significant change would be through the introduction of the two proposed accesses. This would necessitate the removal of about 30 metres of hedgerow. In addition, to maintain visibility splays, the vegetation would need to be faced back up to 2 metres for a length of about 71 metres for Appeal A and 80 metres for Appeal B. Furthermore, the proposed pedestrian accesses would require the removal of about 2 metres of vegetation, together with visibility splays.

The visual appearance of this is shown in Mr Smith's evidence for the appellant, which shows that due to existing planting, and the proposal for additional planting, the visual appearance of Tilehurst Lane would be little altered when viewed from east and west. In addition, the pedestrian accesses would lead into open and planted areas on Appeal A and would be near to garden areas on Appeal B, so that views of the housing would be limited.

It is true that the immediate area of the two vehicular accesses would change significantly as shown in Mr Smith's evidence. The loss of the hedgerow which contributes particularly to the character and appearance of the lane would cause

some harm. However, this would be for a limited distance, and has been planned to coincide with an existing area of partial vegetation. While houses would be visible from both new accesses, planting within the appeal sites would ensure that in the longer term any effects would be reduced and would not be dissimilar to the existing residential development on the opposite side of the road to Appeal Site A. Moreover, the footway along the part of Tilehurst Lane opposite Appeal Site A is mainly set behind existing hedgerows on the south side of the road where pedestrian views of the site are limited'.

- 9.30 A detailed landscaping scheme has been submitted which indicates the retention of all of the existing vegetation along the Tilehurst Lane frontage, other than that required to be removed in order to create the access and this was accepted at appeal.
- 9.31 Following initial comments provided by the Landscape Officer, amended plans have been received which include native species (hornbeam) hedges and more natural looking verge planting, appropriate to the site's edge of settlement countryside location. The Landscape Officer has confirmed that the revised landscaping is now considered acceptable.
- 9.32 Details of boundary treatments are provided and show the use of brick walls in visually prominent locations within the streetscene.
- 9.33 The submitted details retain trees and hedges which are important to the character and appearance of the landscape, and provide additional planting within the site including use of native species street trees. On this basis, the landscaping of the site is considered to be consistent with Policies EN1 and EN2 of the BFBLP.

vii. Biodiversity

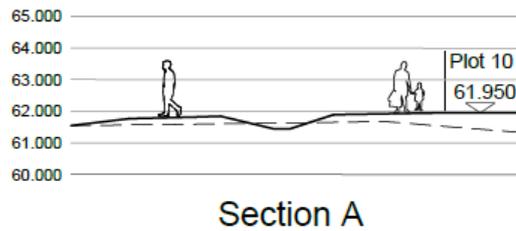
- 9.34 The Biodiversity Officer assessed the scheme as originally submitted and indicated that amendments were required before the scheme could be considered to protect and enhance biodiversity. The required changes related to the need for native species planting, the inclusion of mammal access points within boundary fences and the provision of details of the locations of the proposed log piles which are intended to provide habitats for amphibians and reptiles.
- 9.35 Amended plans have been provided addressing these issues and it is now considered that the proposed scheme is consistent with Policies CS1 and CS7 of the CSDPD, the NPPF, Circular 06/05, the NERC Act 2006 and the Conservation of Habitats and Species Regulations 2017.

viii. Drainage

- 9.36 The issue of drainage was considered at outline application stage, with a drainage strategy being submitted demonstrating that a development of 40 units on the site could be appropriately drained. Conditions of the appeal decision require the submission of a detailed drainage scheme in accordance with the agreed drainage strategy, details of off-site works and connections and requiring a verification report relating to the design and construction of any SuDS feature. These have been submitted and are being considered under the terms of condition application 21/00089/COND which appears elsewhere on this agenda.
- 9.37 The Council's Drainage Consultant has confirmed that the details of the submitted drainage scheme are acceptable and consistent with the strategy that was accepted

by the Inspector. The proposed layout is acceptable in terms of allowing space for flood risk and drainage infrastructure.

- 9.38 Whilst 3no. swales are proposed close to dwellings along the frontage of the site, cross sections have been provided indicating that these are relatively shallow and will not represent a risk to future occupiers.



Section showing depth of swale adjacent to Plot 10.

- 9.39 The main swale, set in the site's south-east corner is enclosed by a gabion wall and a 900mm high timber post and 3 rail fence. Existing vegetation would be retained beyond the swale along the site's eastern edge.
- 9.40 In light of these considerations it is concluded that the proposed layout facilitates the provision of the required SuDS features.

ix. Waste

- 9.41 The Council's Waste and Recycling Officer has confirmed:

'I have had a look at the plans and have no issues with the bin store for flats 37-40. This is large enough for the bins required. All other properties must present bins to the nearest adopted road or RCP on collection day and stored within the property boundary at all other times'.

x. Affordable Housing

- 9.42 The s106 Agreement signed in respect of the outline permission requires the submission of an Affordable Housing Scheme prior to the commencement of the development, and secures the provision of these affordable units. However it does not specify the size or mix of these units which needs to be agreed under the terms of this reserved matters application.
- 9.43 As originally submitted as part of this application, the mix of property sizes proposed for affordable housing was considered unsatisfactory as it included a high proportion of smaller properties, including flats, which did not reflect the market element which was made up of large three, four and five bedroom houses. As a result, the proposed affordable housing did not meet the Council's priority needs as set out in the most recent Housing Needs Assessment which identifies that the main need for shared ownership units is for smaller units (i.e. one and two bed homes) but that the

most critical need for affordable rented housing is for larger units, with three and four bedroom properties in short very supply.

- 9.44 The application has since been revised to offer the following housing mix, and the Housing Enabling Officer has confirmed that this mix is now acceptable, as it delivers all of the larger units for affordable rent:

	Affordable Rent	Shared ownership
1 bed flats	1 Plot 40	2 (Plots 38 and 39)
1 bed flat M4(3)	1 (Plot 37)	
2 bed flats		1 (Plot 36)
2 bed houses	2 (Plot 34 & 35)	
3 bed houses	2 (Plots 19 and 20)	
4 bed houses	1 (Plot 21)	
Total	7	3

xi. Community Infrastructure Levy (CIL)

- 9.45 Bracknell Forest Council introduced charging for its Community Infrastructure Levy (CIL) on 6th April 2015. CIL is applied as a charge on each square metre of new development. The amount payable varies depending on the location of the development within the borough and the type of development.
- 9.46 CIL applies to any new build (except outline applications and some reserved matters applications that leave some reserved matters still to be submitted) that involves the creation of additional dwellings. It is considered that the development would be CIL liable.

10. CONCLUSIONS

- 10.1 This is a reserved matters application following the granting of outline planning permission on appeal. The application considers scale, layout, appearance and landscaping. The development proposed is exclusively two storey and provides a mix of detached, semi-detached and terraced units together with a small apartment block. This accords with the form of development shown on indicative plans considered at the appeal and the scale of development is considered to be acceptable as it respects local patterns of development consistent with Policy CS7 of the CSDPD.
- 10.2 The layout achieves an appropriate relationship with Tilehurst Lane, with dwellings being set back from the road frontage, behind the existing hedgerow, but facing it. A footway within the site, provides appropriate connectivity across the site and into the Heritage Park which is located to the north of the proposed housing.
- 10.3 The internal access road, allows views across the site, to significant trees along its northern edge, providing some connection to the countryside beyond. The use of shared surfaces to the east and west of the central access spine, facilitates a more informal access arrangement and maximises the opportunities for greening the streetscene.

- 10.4 The design of the dwellings is traditional, with a high level of detailing and is considered to be consistent with the local vernacular. Use of appropriate materials can be secured by condition and parking is provided to standard.
- 10.5 A detailed landscaping scheme has been submitted and further amendments to it have been agreed to increase the proportion of native species, non-ornamental planting. On this basis, it is considered acceptable by the Landscape and Biodiversity Officers. The proposed layout incorporates appropriate drainage features.
- 10.6 Revisions to the layout have been secured which are considered to reduce any impact of the proposed development on the setting of adjacent listed buildings and it is therefore considered that the proposed development complies with Development Plan Policies CS1 CS7, BFBLP 'Saved' Policy EN20 and M9, and the NPPF.

11. RECOMMENDATION

The application is recommended to be APPROVED subject to the following conditions amended, added to or deleted as necessary:-

01. The development hereby permitted shall be carried out only in accordance with the following approved plans received by the Local Planning Authority :
- Site Plan 212-105-P9
 - Site Plan - GF Plans 212-106 P7
 - Affordable Housing P6 212-207 P2
 - Adoption Plan 212-208 P2
 - Plot 1 Plans 212-P201 119
 - Plot 1 Elevations 212-P202
 - Plot 2 Plans 212-P203
 - Plot 2 Elevations 212-P204
 - Plot 3 Plans 212-P205A
 - Plot 3 Elevations 212-P206
 - Plot 4 Plans 212-P207
 - Plot 4 Elevations 212-P208
 - Plot 5 Plans 212-P209
 - Plot 5 Elevations 212-P210A
 - Plot 6 Plans 212-P211
 - Plot 6 Elevations 212-P212
 - Plot 7 Plans 212-P213
 - Plot 7 Elevations 212-P214
 - Plots 8 and 9 Plans 212-P215
 - Plots 8 and 9 Elevations 212-P216
 - Plots 10 and 11 Plans 212-P217
 - Plots 10 and 11 Elevations 212-P218
 - Plot 12 Plans 212-P219
 - Plot 12 Elevations 212-P20
 - Plot 13 Plans 212-P221
 - Plot 13 Elevations 212-P222
 - Plot 14 Plans 212-P223
 - Plot 14 Elevations 212-P224
 - Plot 15 Plans 212-P225
 - Plot 15 Elevations 212-P226
 - Plots 16 and 17 Plans 212-P227
 - Plots 16 and 17 Elevations 212-P228
 - Plot 18 Plans 212-P229

Plot 18 Elevations 212-P230
 Plots 19, 20 and 21 Plans 212-P231
 Plots 19, 20 and 21 Elevations 212-P232
 Plots 22 and 23 Plans 212-P233
 Plots 22 and 23 Elevations 212-P234
 Plots 24 and 25 Plans 212-P235
 Plots 24 and 25 Elevations 212-P236
 Plot 26 Plans 212-P237
 Plot 26 Elevations 212-P238
 Plot 27 Plans 212-P239
 Plot 27 Elevations 212-P240
 Plot 28 Plans 212-P241
 Plot 28 Elevations 212-P242
 Plot 29 Plans 212-P243
 Plot 29 Elevations 212-P244
 Plot 30 Plans 212-P245
 Plot 30 Elevations 212-P246A
 Plots 31, 32 and 33 Plans 212-P247
 Plots 31, 32 and 33 Elevations 212-P248A
 Plots 34 - 40 Plans 212-P249
 Plots 34 - 40 Elevations 212-P250
 Plots 34 - 40 Elevations 212-P251
 Garage Plot 1 212-P252
 Garage Plot 2 212-P253
 Garage Plot 3 212-P254
 Garage Plot 4 212-P255
 Garage Plots 5 and 6 212-P256
 Garage Plot 13 212-P257
 Garage Plot 14 212-P258
 Garage Plot 26 212-P259
 Garage Plot 27 212-P260
 Garage Plot 28 212-P261
 Garage Plot 29 212-P262
 Garage Plot 30 212-P263
 Plot/Swale Interface Cross Sections ES.20.057 P1
 Hard Landscape Proposals and Boundary Treatments Sheet 1 of 2 GL1701 03D
 Hard Landscape Proposals and Boundary Treatments Sheet 2 of 2 GL1701 04D
 Soft Landscape Proposals Sheet 1 of 2 GL1701 01D
 Soft Landscape Proposals Sheet 2 of 2 GL1701 02D
 06.03 P1 Junction Visibility Splay Layout
 06.04 P3 Electric Vehicle Charging Point Layout
 REASON: To ensure that the development is carried out only as approved by the
 Local Planning Authority.

02. No development above slab level shall take place until samples of the materials to include bricks, tiles and surface materials, together with details of external porches and other features to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

REASON: In the interests of the visual amenities of the area.
 [Relevant Policies: BFBLP EN20, Core Strategy DPD CS7]

03. No dwelling hereby permitted shall be occupied until the means of enclosure associated with that unit have been implemented in accordance with the approved

details. The means of enclosure shall thereafter be retained and maintained.
REASON: In the interests of the amenities of future occupiers.

04. The garages hereby permitted shall contain a separately accessed storage room which shall be thereafter retained as such. The remainder of the garage accommodation, which shall have minimum dimensions of 6m (length) by 3.5m (width) by 2.4m (height), shall at all times be retained for the use of the parking of motor vehicles only.
REASON: To ensure that the development is provided with adequate parking in the interests of highway safety.
05. No development shall commence until details of the access roads within the site have been submitted to and approved in writing by the Local Planning Authority. No dwelling hereby permitted shall be occupied until that part of the access road which provides access to the relevant dwelling has been constructed in accordance with the approved plans.
REASON: In the interests of highway safety.
[Relevant Policies: Core Strategy DPD CS23]
06. No dwelling hereby permitted shall be occupied until associated vehicle parking and turning space has been provided in accordance with the approved site layout plan 212-105-P9. The spaces shall not thereafter be used for any purpose other than parking and turning.
REASON: To ensure that the development is provided with adequate parking and turning in the interests of highway safety.
[Relevant Policies: BFBLP M9, Core Strategy DPD CS23]
07. No dwelling hereby permitted shall be occupied until means of access to it for pedestrians and cyclists has been constructed in accordance with the approved plans.
REASON: In the interests of accessibility and to facilitate access by pedestrians and cyclists.
[Relevant Policies: BFBLP M6, Core Strategy DPD CS23]
08. No dwelling shall be occupied until visibility splays of 2.0 metres by 2.0 metres have been provided at the junction of the associated driveway and the adjacent footway/carriageway. The dimensions shall be measured along the edge of the drive and the back of the footway/ edge of the carriageway from their point of intersection. The visibility splays shall thereafter be kept free of all obstructions to visibility over a height of 0.6 metres measured from the surface of the carriageway.
REASON: In the interests of highway safety.
[Relevant Policies: Core Strategy DPD CS23]
09. Prior to the occupation of the development hereby permitted, the following details shall be submitted and approved in writing by the Local Planning Authority: (a) details of the signage for the visitor parking spaces, and (b) a schedule for their provision linked to the occupation of dwellings within the associated part of the site. The car parking spaces shall be provided and signed in accordance with the approved details and the spaces and signage shall thereafter be retained.
REASON: To ensure that the development is provided with adequate car parking to prevent the likelihood of on-street car parking which would be a danger to other road users. [Relevant Policies: SEP T4, BFBLP M9, Core Strategy DPD CS23]
10. The development shall be carried out providing, as a minimum, the visibility splays to internal site junctions shown on the approved Drawing 06.03 P1 Junction Visibility Splay Layout. The visibility splays shall thereafter be kept free of all obstructions to

visibility over a height of 0.6 metres measured from the surface of the adjacent carriageway.

REASON: In the interests of highway safety. [Relevant Policies: Core Strategy DPD CS23]

11. The car ports hereby approved shall at all times be retained for the use of the parking of motor vehicles only and, notwithstanding the provisions of Part 1 Classes A and E of Schedule 2 of the Town and Country (General Permitted Development) (England) Order 2015 (or any order revoking or re-enacting that Order with or without modification), no enlargements, improvements or alterations shall be made to the car port, and no gate or door shall be erected to the front of the car port.

REASON: To ensure that the development is provided with adequate parking in the interests of highway safety.

[Relevant Policies: BFBLP M9, Core Strategy DPD CS23]

12. No dwelling hereby permitted shall be occupied until the electric vehicle enabling infrastructure has been provided in accordance with the approved details shown on Drawing 06.04 P3 Electric Vehicle Charging Point Layout. The electric vehicle enabling infrastructure shall thereafter be retained.

REASON: To ensure that the development is provided with adequate access to electric vehicle charging infrastructure in the interests of sustainability.

Informatives

01. The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.
02. The applicant is advised that:
The following condition requires discharging prior to commencement of development: 05.
The following condition requires discharging prior to development above slab level: 02.
The following conditions require discharging prior to occupation: 03, 06, 07, 08 and 09.
The remaining conditions are required to be complied with but do not require the submission of further details.
03. Notwithstanding the wording of Bracknell Forest Council's Parking Standards SPD, the Building Regulations part S "Infrastructure for the charging of electric vehicles" 2021 edition takes effect on 15 June 2022 for use in England. It does not apply to work subject to a building notice, full plans applications or initial notices submitted before that date, provided the work is started on site before 15 June 2023. The applicant should familiarise themselves with, and comply with, the requirements of this document with regard to provision of electric vehicle charging infrastructure.

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OFFICER REPORT

1. SUMMARY

- 1.1 The application submits details of finished floor levels, site organisation/working method strategy to mitigate the impact of construction works, biodiversity enhancements and the detailed drainage scheme pursuant to conditions 04, 11, 12, 14, 23 and 24 of planning permission 17/01174/OUT which was allowed on appeal and which granted outline planning permission for the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features with access from Tilehurst Lane.
- 1.2 The details are considered acceptable. There is a 10m difference in levels across the site and the submitted scheme demonstrates that level access can be provided to each dwelling and along adoptable routes to the public open space. Details of traffic management routes during construction have been carefully considered to ensure that vehicle movements to the site are routed to minimise their impact on adjoining occupiers. The submitted details also demonstrate appropriate biodiversity enhancements and a drainage scheme which is consistent with the strategy approved on appeal and which will appropriately deal with both existing surface water run-off and that from the proposed development.

RECOMMENDATION

The submitted details be approved as set out in Section 11 of this report.
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2. REASON FOR REPORTING APPLICATION TO COMMITTEE

- 2.1 The application is being presented to the Committee in order that it can be considered at the same time as other conditions applications relating to this site (reference; 22/00013/COND and 22/00080/COND) and the reserved matters application for the site 21/00507/REM, all of which appear elsewhere on the agenda, as agreed at the meeting of the Planning Committee on 19th May 2022.

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS

Countryside

Site lies beyond the 5km buffer to the Thames Basin Heaths SPA
--

Buildings within the vicinity of the site are listed
--

- 3.1 The application site extends to 3.21ha and comprises undeveloped grassland divided into three grazing paddocks, located on the northern side of Tilehurst Lane. The land originally formed part of the parkland to Binfield Park, a Grade II* Listed Building, which is located to the north of the site. To the north-west lies a further paddock, and to the west lies an area of woodland associated with the Park Lodge Day Nursery which is located at the junction of Tilehurst Lane and Terrace Road North. There is a fall across the application site of approximately 13m in a north-west to south-east direction.
- 3.2 The site's southern boundary with Tilehurst Lane is characterised by a verge and ditch with tree and shrub planting which extends into the site. Immediately adjacent to the site's eastern boundary is a cattery and the Grade II listed South Lodge, together with

entrance gate piers which are also associated with Binfield Park and which are Grade II listed.

- 3.3 The site is located within the countryside immediately adjacent to the settlement boundary of Binfield as identified on the Bracknell Forest Borough Policies Map (2013). This also identifies Tilehurst Lane as part of the Binfield Bridleway Circuit.
- 3.4 The site is located beyond the 5km buffer to the Thames Basin Heaths SPA and it was accepted at outline application stage that, given the scale of the development, it would not, either individually or cumulatively have a significant effect on the conservation objectives of the Thames Basin Heaths Special Protection Area.

4. RELEVANT SITE HISTORY

- 4.1 In 2017 an outline planning application (17/01174/OUT) was submitted proposing the erection of forty houses, including 10 affordable houses together with provision of parking, a play area, landscaping and an attenuation pond, with access from Tilehurst Lane. This application was refused however was ultimately allowed on appeal (ref: APP/R0335/W/19/3228697) following a public inquiry. The permission was granted subject to conditions which included securing the provision of a 'heritage park' on the site's western side which would provide publicly accessible open space.

Details of recent applications relating to the site are set out below:

19/00213/COND - Details pursuant to condition 26 (Heritage Park) of planning permission 17/01174/OUT in relation to appeal reference APP/R0335/W/19/3228697. Approved.

21/00006/COND Details pursuant to Condition 22 (Archaeological Evaluation) of planning permission 17/01174/OUT (Permission granted on Appeal Ref. APP/R0335/W/19/3228697). Approved.

21/00014/COND Details pursuant to condition 7 (Tree Protection) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00037/COND Details pursuant of to Condition 19 (Updated Ecological Appraisal) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00507/REM Submission of reserved matters application to outline planning permission 17/01174/OUT for the approval of details of appearance, landscaping, layout and scale relating to the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features with access form Tilehurst Lane. Appears elsewhere on this agenda.

22/00008/COND Details pursuant to condition 15 (works to trees in bird nesting season) of planning permission 17/01174/OUT. Approved.

22/00013/COND Details pursuant to Condition 20 (Energy Demand Assessment) and Condition 21 (Water Efficiency) of planning permission 17/01174/OUT. Appears elsewhere on this agenda.

22/00080/COND Details pursuant to Condition 10 (cycle parking) and 17 (External lighting) of planning permission 17/01174/OUT. Appears elsewhere on this agenda.

5. THE PROPOSAL

- 5.1 This application seeks the approval of details submitted pursuant to conditions imposed by the Inspector in granting outline planning permission for 40no. dwellings at the site.

Condition 04 (Finished Floor Levels) states:

The development hereby permitted shall not commence until details showing the finished floor levels of the dwellings hereby approved in relation to a fixed datum point have been submitted to and approved in writing by the Local Planning Authority and the development shall be carried out in accordance with the approved details.

Condition 11(Site Organisation) states:

The development hereby permitted shall not be begun until a scheme has been submitted to and approved in writing by the Local Planning Authority, to accommodate:

- i) Parking of vehicles of site personnel, operatives and visitors
- ii) Loading and unloading of plant and vehicles
- iii) Storage of plant and materials used in constructing the development
- iv) Wheel cleaning facilities
- v) Temporary portacabins and welfare for site operatives

Each facility shall be retained throughout the course of construction of the development, free from any impediment to its designated use. No other areas on the site, other than those in the approved scheme shall be used for the purposes listed (i) to (v) above.

Condition 12 (Working Method Statement) states:

The development hereby permitted (including any demolition) shall not start until details of a scheme (Working Method Statement) to control the environmental effects of the demolition and construction work has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include:

- i) control of noise
- ii) control of dust, smell and other effluvia
- iii) control of surface water run off
- iv) site security arrangements including hoardings
- v) proposed method of piling for foundations
- vi) hours during the construction and demolition phase, when delivery vehicles or vehicles taking materials are allowed to enter or leave the site

The development shall be carried out in accordance with the approved scheme.

Condition 14 (Biodiversity Enhancements) states:

Any demolition and site clearance shall not be begun until a scheme for the provision of biodiversity enhancements (not mitigation), including a plan or drawing showing the location of these enhancements, has been submitted to and approved in writing by the

local planning authority. The approved scheme shall be performed, observed and complied with prior to the completion of development on the site.

Condition 23 (Surface Water Drainage Scheme) states:

Development shall not commence until a surface water drainage scheme for the site, based on sustainable drainage principles in accordance with Clive Onions Ltd FRADS V10 dated 8th August 2019 and an assessment of the hydrological and hydro-geological context of the development, has been submitted to and approved in writing by the local planning authority. The scheme shall subsequently be implemented in accordance with the approved details. The scheme shall include:

- i) Results of intrusive ground investigations demonstrating the depth of the seasonally high groundwater table and interpretative report confirming that the SUDS scheme will not impact on ground water levels.
- ii) Discharge Rates.
- iii) Discharge Volumes.
- iv) Sizing of features - attenuation volume.
- v) Detailed drainage layout with pipe numbers.
- vi) Confirmation of the gully spacing calculations demonstrating that they are capable of conveying the rainfall volumes as set out in the Approved Drainage strategy.
- vii) Full details of any SUDS Balancing Ponds, headwalls, control structures and conveyance swales as set out in the drainage strategy.
- viii) Full details of the eastern and southern conveyance swales including levels and earthworks confirming their volume.
- ix) Network drainage calculations.
- x) Exceedance routing.
- xi) Phasing plans.

Condition 24 (Drainage Strategy) states:

Development shall not commence until a drainage strategy detailing any on- and off-site drainage works, along with proposed points of connection, has been submitted to and approved by the Local Planning Authority in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

6. REPRESENTATIONS RECEIVED

- 6.1 One letter of representation has been received which requests that construction lorries should be routed from the south-eastern end of Tilehurst Lane via Church Lane rather than from the top of Tilehurst Lane, as indicated within the originally submitted method statement. [Officer Note: this routing has since been amended at the request of the Highways Officer as referred to in the report below].

7. SUMMARY OF CONSULTATION RESPONSES

Highways Officer

Confirms that changes made to ensure the adopted areas are suitably ramped and that level access to at least 1 entrance has been provided to each property. Also notes that suitable level areas within gardens that have steps has been provided for bin storage and that the final details in relation to the adoptable areas will be covered in the S38 agreement.

Raises no objection to amended Construction Environmental Management Plan and Method Statement which amends the proposed routing of construction vehicles into Tilehurst Lane from Terrace Road North. Requests more details of contractor parking within the site. [Officer Note: this has been requested and will be provided in advance of the Committee meeting].

Thames Water

Thames Water confirms that the conditions can be discharged on the basis of the information submitted and provide the following supplementary comments: The drainage strategy condition can be discharged on the basis that foul will discharge by gravity downstream of manhole ref. 5302. The surface water drainage condition can be discharged on the basis that the surface water will discharge to manhole ref. 5303 at a maximum rate of 9l/s.

LLFA

We have reviewed the information submitted in relation to Conditions 23 and 24 and consider this sufficient to demonstrate that surface water runoff from the proposed development, as well as existing surface water runoff can be managed effectively. The submitted information is in accordance with the principles agreed as part of the Reserved Matters application that we have previously discussed with the applicant and recommended approval of. We therefore consider that Conditions 23 and 24 can be discharged.

Biodiversity

Preliminary Ecological Assessment recommends the creation of log piles for reptiles and amphibians which are not shown on any landscape drawings. These should be positioned along green corridors and around the attenuation pool. [Officer Note: Amended plans have been submitted to show these and a full range of enhancements including bird and bat boxes].

8. DEVELOPMENT PLAN

8.1 The Development Plan for the Borough includes the following:

Site Allocations Local Plan (2013) (SALP)
Core Strategy Development Plan Document (2008) (CSDPD)
'Saved' Policies of the Bracknell Forest Borough Local Plan (2202) (BFBLP)
'Retained' Policies of the South East Plan (2009) (SEP)
Bracknell Forest Policies Map (2013)

The application site also lies within the designated Binfield Neighbourhood Plan area such that the Binfield Neighbourhood Plan (2016) also applies.

9. PLANNING CONSIDERATIONS

Condition 04 (Finished Floor Levels)

- 9.1 The submitted details indicate the finished floor levels across the site with reference to a fixed datum point as required by Condition 04.
- 9.2 There is a difference of over 10m across the developable part of the site east to west which inevitably leads to a variation in floor levels unless significant re-profiling of the land is envisaged. These floor levels vary across the site with those at the eastern end being set approx. 7.7m lower than those at the western end.
- 9.4 The Inspector, in assessing the outline application, acknowledged this difference in levels and commented:

‘However, although Appeal Site A rises to the north-west, the proposed location of the housing would be at a lower level within the least sensitive well screened area’.
- 9.5 The development currently proposed is located within the same area as shown for development within the indicative layout plan before the Inspector.
- 9.6 The below section across the site demonstrates the visual impact of the proposed development.



- 9.7 This shows that ground levels at the north-western corner of the site have been reduced, with the residual land being supported by a retaining wall which varies in height from 0.15m to 1.2m. This will help to reduce the visual prominence of the development as the land rises. Further changes to ground levels would impact on the original concept of the drainage scheme considered by the Inspector which was based on the principle of water flowing down to the eastern end of the site where it will be captured within the attenuation basin.
- 9.9 Further retaining structures are required throughout the development to accommodate the level changes across the site and some of the properties (e.g. Plots 4, 11, 12 and 13) are accessed by steps to their primary access. However, where level access cannot be achieved at the front of the property, it is provided to the rear from the point where a person is most likely to alight from a car, with a ramped pathway then being provided to the rear access door. This arrangement is consistent with Part M of the Building Regulations.

- 9.10 In instances where there is a change in levels within the rear gardens (e.g. Plots 1, 2, 6, 12, 24 and 27), level platforms have been provided to enable the storage of bins and their easy movement to the front of the property.
- 9.11 The submitted details confirm that all footpaths within the site that provide access to the area of public open space to the west, are of an appropriate gradient to allow access by all users.
- 9.12 Given the topography of the site and the constraints it imposes, it is considered that the details of the finished floor levels are acceptable.

Conditions 11 and 12 - Site Organisation and Working Method Statement

- 9.13 The purpose of conditions 11 and 12 is to ensure the provision of facilities and impose controls that will minimize the impact of the construction works on adjacent occupiers.
- 9.14 As originally submitted, the scheme indicated that construction traffic should be routed from the south-east end of Tilehurst Lane which is the same routing as being used for the construction of the 53no. unit scheme at the eastern end of Tilehurst Lane. It is noted that the letter received from the local resident supports this routing. However, the Highway Officer raised concern about the impact of the development from construction vehicles on local residents at the lower end of Tilehurst Lane which is relatively narrow and which has no footway to the road. It was considered that it would be more appropriate for the development at the upper end of Tilehurst Lane to be accessed from the north-west. Concerns about the narrowness of the road in this area would be mitigated in part by road widening works required under the s278 highway agreement and the presence of the footway. Concerns about impact of deliveries at peak times (e.g. the nursery opening/closing times) have been ameliorated by the submitted scheme specifying that deliveries should be scheduled outside of peak times i.e. before 9am or between 1500 and 1600 hours.
- 9.15 In light of the Highway Officer's concerns, the scheme has been amended in relation to the routing of construction vehicles to the site. The Highway Officer has provided the following comments:

'I have looked at the latest version of the CEMP submitted which is revision B received on the 14th July 2022 and am now content that the changes made to the construction routing have addressed the concerns raised previously. I understand that you have received an objection in relation to the revised routing now arriving and leaving the site from/to the north. Whilst I understand the concern raised it must be seen in the context of the extent of the lane that such vehicles will pass along and the negative impacts that could have. As we know Tilehurst Lane does vary in width along its length and the eastern half of the lane does not have at present any segregated routes for pedestrians. The western end does and as part of the development the width of Tilehurst Lane will be widened over the frontage providing increased space for vehicles to pass each other safely. The combination of these factors do in my opinion make directing the construction traffic and especially larger delivery vehicles this way the safer option to reduce the potential impact on all users of Tilehurst Lane while development is being constructed'.

- 9.16 The Officer has also requested that the plan showing construction vehicle parking within the site be clarified, and subject to receipt of this additional information, it is considered that the amended CEMP is acceptable and will help to minimize the inevitable impact of any construction works on local residents.

Condition 14 – Biodiversity Enhancements

- 9.17 Condition 14 of 17/01174/OUT requires the submission of a scheme for biodiversity enhancements including details showing the location of these enhancements. The Biodiversity Officer noted that, as originally submitted, the details did not show the creation of log piles for reptiles or amphibians as had been recommended in the Preliminary Ecological Appraisal for the site. In response to these comments a revised scheme has been submitted. It confirms that the biodiversity enhancements proposed will include native species planting as detailed on the landscaping plan being considered under the reserved matters application; the creation of swales with appropriate wetland planting; bat and bird boxes to be located on existing trees and new buildings; and log piles and hibernacula for reptiles and amphibians. In addition, the proposed scheme includes measures so as to mitigate the impact of the development on wildlife such as the use of 'hedgehog highways' within the boundary fencing and wildlife friendly kerb stones to be used in all gully pots along the access road.
- 9.18 It is considered that these details address the previous comments of the Biodiversity officer and that the submitted details are acceptable and satisfactorily discharge Condition 14.

Conditions 23 and 24

- 9.19 In refusing outline planning permission 17/01174/OUT the Council initially imposed a holding objection in relation to flood risk and drainage as the submitted information failed to provide sufficient information to demonstrate that the site could be effectively rained.
- 9.20 During the course of the appeal, an amended Flood Risk Assessment and Drainage Strategy (FRADS) was submitted, together with a revised indicative site layout which showed a revised swale feature being accommodated in the south-eastern part of the site. This information, together with appropriate conditions and clauses within the S106 Agreement were considered sufficient to overcome the reason for refusal and it was withdrawn by the LPA.
- 9.21 In allowing the appeal, the Inspector accepted the principles set out in the submitted FRADS which is referred to within Condition 23 of the appeal permission. The current application submits further details of the drainage scheme which are consistent with these principles established.
- 9.22 The drainage scheme shows surface water runoff from the proposed impermeable areas of the development to be drained via a piped network, and a network of swales, to an attenuation basin on the south eastern edge of the site. The attenuation basin will discharge to the Thames Water sewer in Tilehurst Lane at a rate of 9l/s (equivalent to the greenfield runoff rate) which is consistent with the outline and reserved matters approval and has been agreed with Thames Water.
- 9.23 The drainage system has been designed to manage rainfall events up to and including the 1 in 100 year event, including a 40% climate change allowance. Additionally, the applicant has carried out detailed hydraulic modelling of the existing surface water flood risk affecting the site. As a result of this hydraulic modelling, areas of the site shown to be affected by flooding, along the south-eastern boundary, have been left free from development at existing ground levels so that flood risk is not increased off-site.

9.24 The LLFA has confirmed that:

We have reviewed the information submitted in relation to Conditions 23 and 24 and consider this sufficient to demonstrate that surface water runoff from the proposed development, as well as existing surface water runoff can be managed effectively. The submitted information is in accordance with the principles agreed as part of the Reserved Matters application that we have previously discussed with the applicant and recommended approval of. We therefore consider that Conditions 23 and 24 can be discharged.

9.25 In respect of the originally submitted scheme, the Biodiversity Officer required consideration of the design of the drainage features to ensure minimal barriers to wildlife movement and ensure escape routes within SuDS features to avoid entrapment of animals. These issues have been addressed in the shallow gradient of the swales and use of wildlife kerbs at all gully locations which are shown on the submitted plans. On this basis, the submitted details are considered to satisfactorily discharge Conditions 23 and 24.

10. CONCLUSIONS

10.1 The application submits details pursuant to conditions of planning permission 17/01174/OUT relating to finished floor levels, site organisation/working method statement, biodiversity enhancements and drainage. The details are considered acceptable and will ensure that the development is consistent with the terms of the appeal application as approved by the Inspector and will mitigate the impact of the development on the site and adjacent occupiers. Accordingly approval is recommended.

11. RECOMMENDATION

That the application be APPROVED on the basis of the following details:

Condition 04: Finished Floor Levels
ES20.057 -11.11P6 levels and Contours Sheet 1
ES20.057 -11.12P6 levels and Contours Sheet 2

Conditions 11 and 12 Site Organisation and Working Method Statement:
Construction Environmental Management Plan and Method Statement Rev B dated July 2022

Condition 14: Biodiversity Enhancements
Biodiversity Enhancements Plan 23rd May 2022

Condition 23 and 24 Drainage:

ES20.057-11.01 P7 Drainage Layout Sheet 1
ES20.057-11.02 P8 Drainage Layout Sheet 2
Drainage Modelling Information contained in email from Matthew Huggon dated 29.06 .2022
Basin and Swale Plan inc. Wildlife Kerb Detail ES.20.057 17.00 P2

Surface water Catchment Plan ES20.057 04.05 P3
Flood Exceedance Routing Layout ES20.057 13.21 P2
Hydrobrake Detail ES20.057-400.4-P3
Private Drainage Construction Details ES20.057 41.00 P1
Longitudinal Sections Sheet 1 ES20.057 12.01 P3
Longitudinal Sections Sheet 2 ES20.057 12.02 P1

Informative:

1. The applicant's attention is drawn to the terms of Condition 25 of 17/01174/OUT which requires the construction of the eastern balancing pond to be inspected and approved by a suitably qualified Engineer (a chartered engineer with embankment and reservoir design experience) and a verification report including substantiating evidence confirming the satisfactory design and construction of the SUDS Scheme to be submitted to and approved by the LPA.

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Unrestricted Report

ITEM NO: 8

Application No.
22/00003/FUL
Site Address:

Ward:
College Town

Date Registered:
16 February 2022

Target Decision Date:
13 April 2022

**121 College Road College Town Sandhurst Berkshire
GU47 0RD**

Proposal: **Revised scheme for erection of single storey rear extension following demolition of existing conservatory and installation of two air conditioning units.**

Applicant: Mr & Ms Anoop & Sneha Radhakrishnan & Nair

Agent: (There is no agent for this application)

Case Officer: Emma Sibley, 01344 352000
Development.control@bracknell-forest.gov.uk

Site Location Plan (for identification purposes only, not to scale)



1. SUMMARY

1.1 The proposal is for the erection of single storey rear extension following demolition of existing conservatory and installation of two air conditioning units.

1.2 This application is a revised scheme of approved planning permission 20/00876/FUL which incorporates the following changes:

- Increased projection to the rear by approximately 1.8 metres (retrospective)
- The installation of an air conditioning unit on the front elevation of the dwelling (retrospective)
- The installation of an air conditioning unit on the roof of the extension.

1.3 The development relates to a site within the settlement boundary and is therefore considered acceptable in principle. It is not considered that the proposal would have an adverse impact upon the character and appearance of the surrounding area, or adversely affect the residential amenities of neighbouring occupiers.

RECOMMENDATION

Planning permission be granted subject to the conditions set out in Section 11 of this report.
--

2. REASON FOR REPORTING APPLICATION TO COMMITTEE

2.1 The application has been reported to the Planning Committee at the request of Councillor Mossom due to concerns that the rear extension is unneighbourly and overbearing, and noise nuisance from the air conditioning units.

2.2 Councillor Dudley has also requested that the application be considered by the Planning Committee.

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS

Within settlement boundary

Within Area E of the Sandhurst Study Area (Character Area Assessments SPD)
--

3.1 No. 121 College Road is a detached bungalow located close to the junction of College Road with College Crescent. The application site is within a residential area, which is itself within a defined settlement as set out in the Bracknell Forest Borough Policies Map (2013). Neighbouring properties are 117-119 College Road to the south of the application site, and 123 College Road to the north of the application site. The rear boundary of the site is adjoined by the gardens of 102 and 104 Branksome Hill Road.

4. RELEVANT SITE HISTORY

4.1 The relevant planning history is set out below:

02/01058/FUL

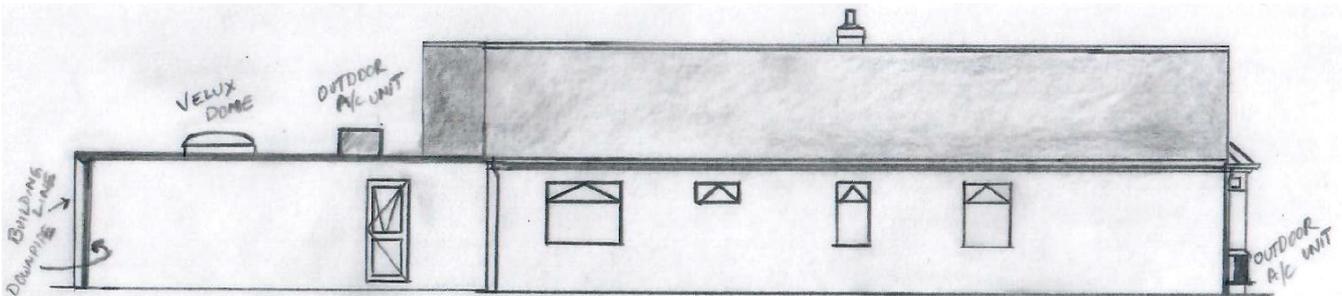
Erection of single storey rear extension forming conservatory.
Approved 2022.

20/00876/FUL

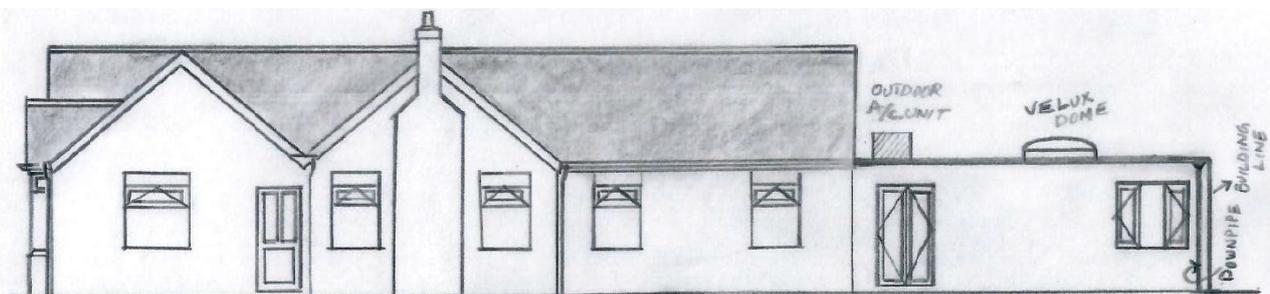
Erection of single storey rear extension following demolition of existing conservatory.
Approved 2021.

5. THE PROPOSAL

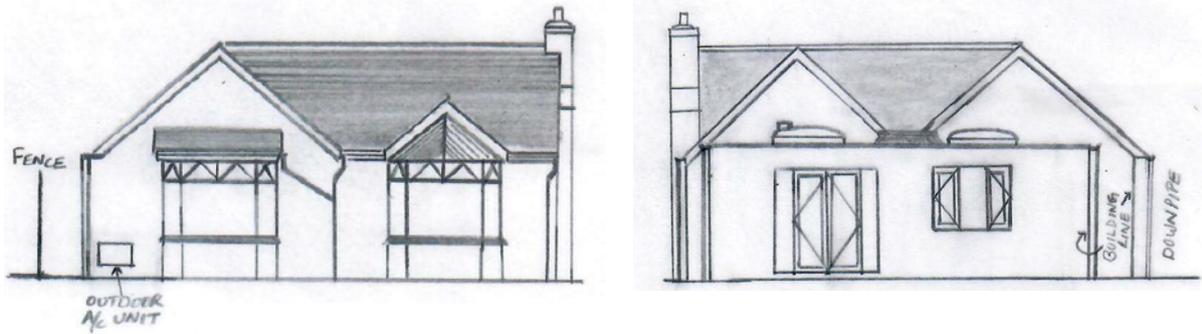
- 5.1 The proposal is for a single storey extension to the rear elevation of 121 College Road, plus the installation of two air conditioning units.
- 5.2 The rear extension, and air conditioning unit to the front elevation of the dwelling, are already in situ and therefore this application is part retrospective.
- 5.3 The rear extension has a maximum width of approximately 8.4 metres, and a roof height of approximately 2.9 metres (3.4 metres including the two roof domes)
- 5.4 The rear extension has a maximum depth of approximately 8.8 metres, compared to the previous depth of 7.0 metres approved under 20/00876/FUL - an increase in approximately 1.8 metres.
- 5.5 The extension projects past the rear elevation of the property to the south, 119 College Road by approximately 5.9 metres. There is a minimum separation distance of approximately 2.6 metres between the two properties at the closest point.
- 5.6 The extension does not project past the rear elevation of the property to the north, 123 College Road.



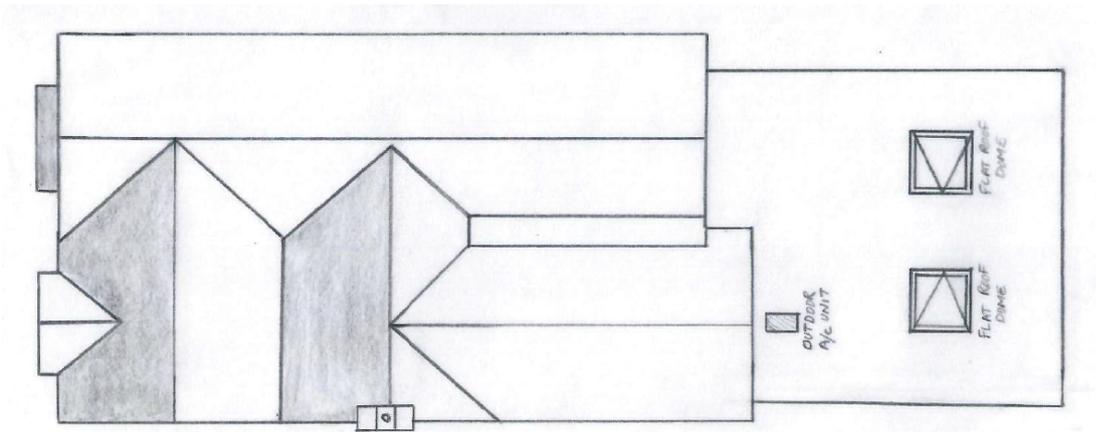
Proposed side (south) elevation facing 117-119 College Road



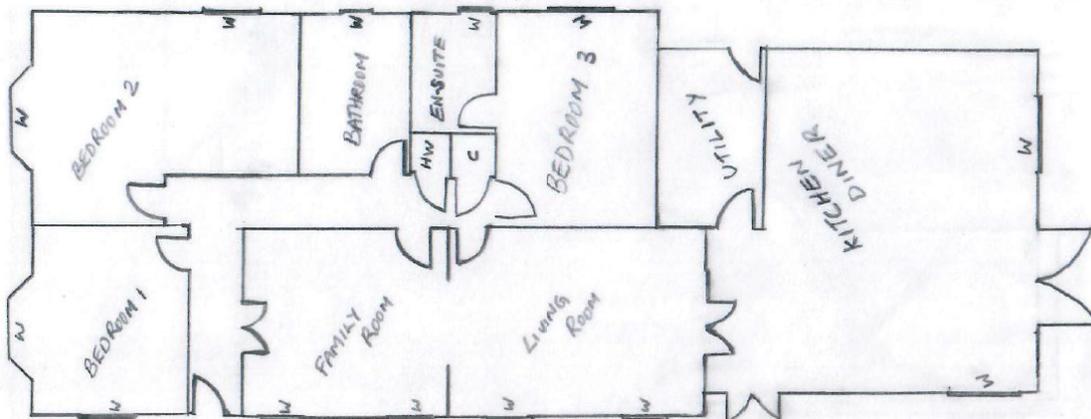
Proposed side (north) elevation facing 123 College Road



Proposed front (east) (L) and rear (west) (R) elevations



Proposed roof plan



Proposed ground floor plan

6. REPRESENTATIONS RECEIVED

Sandhurst Town Council

6.1 The Town Council originally raised 'no objection' to the proposal on the 2nd of March 2022, however an additional consultation response was received on the 15th of March 2022 noting that a noise assessment was required, with a recommendation of refusal.

Other Representations

6.2 One letter of objection was received on behalf of the occupiers of 117-119 College Road. The issues raised can be summarised as follows:

- Miscellaneous Matters – description of proposal, presentation of application/validation issues, and application fee.
- Design: bulk, scale and overdevelopment.
- Impact on Amenity: Daylight and outlook.

6.3 An additional letter of objection was received on behalf of the occupiers of 117-119 College Road after amended plans were received. The issues raised can be summarised as follows:

- Miscellaneous Matters: description of development, presentation of application/validation issues, incorrect orientation on plans, and application fee.
- Design: excessive in depth, over dominant, unneighbourly and overdevelopment.
- Impact on amenity: loss of daylight and outlook from fenestration.
- Noise impact from air conditioning units: use of ‘rough assessment’ over BS4141 noise assessment not sufficient.
- Precedent: applicants support letter, dated 9.06.2022. citing previous extensions with larger depths approved at committee that does not necessarily compare to this situation.

7. SUMMARY OF CONSULTATION RESPONSES

Environmental Health

7.1 As a result of the air conditioning units, Environmental Health was consulted and initially recommended refusal as insufficient information on noise was provided and recommended a BS4142 compliant noise assessment be submitted. A BS4141 compliant noise assessment has not been provided, however the Environmental Health Officer has withdrawn their objection based on an assessment carried out by themselves. A condition regarding noise levels has been recommended to be appended to the decision notice.

8. MAIN POLICIES AND OTHER DOCUMENTS RELEVANT TO THE DECISION

8.1 The key policies and guidance applying to the site and the associated policies are:

	Development Plan	NPPF
General policies	CP1 of SALP,	Not fully consistent
	CS1, CS2 of CSDPD	Consistent
Residential amenity	Saved policies EN20 and EN25 of BFBLP	Consistent
Design	CS7 of CSDPD, Saved policies EN20	Consistent
Supplementary Planning Documents (SPD)		
Parking Standards SPD		
Design SPD		
Other publications		
National Planning Policy Framework (NPPF) and National Planning Policy Guidance (NPPG)		

9. PLANNING CONSIDERATIONS

9.1 The key issues for consideration are:

- i Principle of development
- ii Impact on character and appearance of the area
- iii Impact on residential amenity
- iv Any transport implications

i. Principle of Development

9.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise, which is supported by the NPPF (paras. 2 and 12). Policy CS2 of the CSDPD states that development will be permitted within defined settlements. This is provided that the development is consistent with the character, accessibility and provision of infrastructure and services within that settlement. The above policy is considered to be consistent with the NPPF, and as a consequence is considered to carry significant weight.

9.3 The site is located in a residential area that is within a defined settlement on the Bracknell Forest Borough Policies Map (2013). As a result, the proposed development is considered acceptable in principle, subject to no adverse impact on the amenity of the neighbouring occupiers and upon the character and appearance of the area.

ii. Impact on Character and Appearance of the Area

9.4 'Saved' policy EN20 of the BFBLP states that development should be in sympathy with the appearance and character of the local environment and appropriate in scale, mass, design, materials etc. Policy CS7 of the CSDPD states that the council would require high quality design for all development in Bracknell Forest. Development proposals would be permitted which build on the urban local character, respecting local patterns of development. Paragraph 126 of the NPPF emphasises the importance of good design as key to making places better for people to live. Additionally, paragraph 130 of the NPPF states that the design of development should help improve the character and quality of an area and the way it functions.

9.5 The Sandhurst Study Area E (College Town) of the Character Area Assessments SPD sets out, in summary, that the character area is defined by its distinct street and plot pattern due to the wide variety of house types and architectural approaches. The only common denominator is the linear development pattern along College Road and Branksome Hill Road. There are a number of recommendations set out in the SPD in relation to the character of the area, however neither the rear extension, nor the air conditioning units would detract from this.

9.6 The rear extension is well screened from public view at the rear of the property, as a result of its single storey nature and flat roof, which also prevents the extension from interfering with the main roof form of the dwelling. The existing dwelling has a higher pitched roof that prevents the extension from being readily seen from the street, which is further improved by the extension being set in from the existing side elevations of the dwelling. It is therefore considered that the extension complies with the guidance for rear extensions in the Design SPD that recommends rear extensions are 'set behind the original building, and not projecting beyond it at the sides' and 'being subordinate to the original building in height'.

9.7 The extension does not follow the pitched roof form of the original building. However, it is considered that the extension with its use of matching materials and positioning at the rear of the dwelling does not have any significant adverse impact on the character of the area, or the streetscene.

9.8 The extension has a depth of approx. 8.8 metres. However, given that the application site has a rear garden approximately 34 metres in length, from the rear elevation of the extension to the rear boundary, it is considered that the extension preserves a back garden of reasonable size. The extension is therefore considered appropriate in size in relation to the size of the buildings and garden. As such it is considered that there is no overdevelopment of the site, and that the extension accords with the guidance set out in the Council's Design SPD for rear extensions.

9.9 Whilst the extension is approximately 8.8m in depth, its height means it is not considered to appear out of scale or bulky. Under previously approved permission 20/00876/FUL, the roof lantern resulted in a maximum height of approximately 3.65 metres. Under the current application, the extension has been built with two smaller roof domes which result in the extension having a slightly lower maximum height of approximately 3.4 metres. Without the two roof domes, the flat roof of the extension measures approximately 2.9 metres in height. As a single storey extension, the height is not considered unreasonable, and would have been higher and more bulky had the extension had a pitched roof design.

9.10 It is therefore considered that the extension would not result in an adverse impact on the character and appearance of the area, in line with the recommendations in the Character Area Assessments SPD and Design SPD, and would be in accordance with CSDPD Policy CS7, BFBLP 'Saved' Policy EN20 and the NPPF.

9.11 The proposed air conditioning unit on the rear extension would not be visible from the streetscene, and therefore would not have an impact on the character and appearance of the area. This would therefore comply with the guidance set out in 4.9.4. of the Design SPD that states 'air source heat pumps should not be placed on front elevations or in a position visible from the street'. The unit is of a similar height to the two roof domes on the extension and therefore creates only a minor change to the appearance of the extension. As such, it is considered that the air conditioning unit on the rear extension would not have an adverse impact on the character and appearance of the area and would be in accordance with CSDPD Policy CS7, BFBLP 'Saved' Policies EN20 and the NPPF.

9.12 The air conditioning unit on the front elevation of the dwelling is already in place. Under 4.9.4 of the Design SPD it states that 'Air source heat pumps should not be placed on front elevations or in a position that is visible from the street. If this cannot be avoided, then they should be sensitively screened'. The unit has been positioned towards the bottom left of the front elevation that reduces its prominence on the front elevation and its visibility within the streetscene. The unit's visibility within the streetscene is further improved by the small boundary brick wall adjacent to the public footpath and some decorative vegetation in the front garden. As such, it is not considered that the air conditioning unit on the front elevation of the dwelling has a significant adverse impact on the character of the area that would warrant refusal of the application and would be in accordance with CSDPD Policy CS7, BFBLP 'Saved' Policy EN20 and the NPPF.

iii. Residential Amenity

9.13 'Saved' policy EN20 of the BFBLP states that development will not adversely affect the amenity of surrounding properties and adjoining area. Paragraph 130 of the NPPF states that the Local Planning Authority should ensure high quality amenity for all existing and future users.

Overlooking

9.14 There is a distance of approximately 34 metres from the rear elevation of the extension to the rear boundary of the application site. It is also a single storey extension. As such, it is not considered that the proposal would result in unacceptable overlooking to the rear due to the separation distance.

9.15 The rear extension has one door in its side elevation facing towards no. 117-119 College Road, and one window and one patio door set in its side elevation facing towards 123 College Road. The fenestration within the extension reduces the extent of fenestration from that of the side elevations of the previous conservatory. As such, it is considered that overlooking impacts are improved the site. In addition to this, there is suitable boundary treatment with both neighbours that the ground floor level fenestration is not considered to create an adverse overlooking impact to either of its neighbours to the side.

9.16 The air conditioning units do not create an overlooking issue.

Overbearing

9.17 The rear extension is single storey in nature, and with a height of approximately 2.9 metres at roof height, and 3.4 including the roof domes. The extension has been set in from the existing side elevations of the dwelling by approx. 0.9 metres from the side elevation nearest 117-119 College Road and approx. 0.5 metres from the side elevation nearest 123 College Road) so that it is sited further away from both side boundaries than the existing. It is therefore not considered that the extension appears unduly overbearing to any of its neighbours and is considered acceptable in terms of impact on the neighbouring amenity.

9.18 The air conditioning units do not create an overbearing issue.

Overshadowing

9.19 Due to the separation distance to the rear boundary, the relationship with the neighbouring dwellings here would not change.

9.20 The extension does not project past the rear elevation of the property to the north, 123 College Road, and therefore does not create an overshadowing impact on fenestration parallel to the development. The side elevation of 123 College Road has a number of windows facing towards the extension. However due to the separation distance there would not be a significant loss of light to any primary windows of habitable rooms, and the extension is considered acceptable in terms of impact on the neighbouring amenity.

9.21 117-119 College Road is the closest neighbouring dwelling to the extension. Closest to the boundary is a set of patio doors on the rear elevation, and a loss of light assessment was undertaken on these in line with BRE SLPDS. As these are parallel to the development, a 45 degree line is drawn on the vertical plane from the roof towards the patio doors, then a 45 degree line is drawn on the horizontal plane from the end of the extension towards the wall where the patio doors are. If the centre of the patio doors lies on the extension side of both of these 45 degree lines, it would be considered that the development would result in an adverse impact on the property with regards to loss of light.

9.22 For full length windows/patio doors, a point 1.6 metres above ground level is taken as the mid point of the window. The loss of light assessment determined that there would not be a significant loss of light to the patio doors as they did not sit on the extension side

of the 45 degree line on both the vertical and horizontal plane. It is therefore considered that the extension would not result in an adverse overshadowing impact on the amenity of the occupiers of 117-119 College Road.

Noise

9.23 As a result of the air conditioning units, Environmental Health was consulted and initially recommended refusal as insufficient information on noise was provided and recommended a BS4142 compliant noise assessment be submitted. This has not been provided, but the Environmental Health Officer has withdrawn their objection based on an assessment carried out by themselves. A condition regarding noise levels has been recommended to be appended to the decision notice.

9.24 It is therefore considered that the development would not result in an adverse impact on the amenity of neighbouring occupiers, in accordance with BFBLP 'Saved' Policies EN20 and EN25, subject to the recommended condition.

iv) Any transport implications

9.25 The extension would not change the existing parking layout for the dwelling, nor would it result in additional parking spaces being required. As such, there are no transport implications arising from the application.

10. CONCLUSIONS

10.1 The proposed development is within the settlement boundary where the principle of development is acceptable.

10.2 The proposal is not considered to have an adverse impact on the streetscene or character and appearance of the area, nor would the development result in a detrimental impact on the residential amenity of the neighbouring occupiers.

10.3 The application is therefore recommended for conditional approval as being in accordance with CSDPD Policy CS7 and CS23, BFBLP 'Saved' Policies EN20, EN25, the Design SPD, the Character Assessments Area SPD, and the NPPF.

11. RECOMMENDATION

11.1 That the application be APPROVED subject to the following conditions amended, added to or deleted as necessary:

1. The development hereby permitted shall be carried out only in accordance with the following approved plans and documents received by the Local Planning Authority on 29.06.2022:

Block plan
Location plan

And revised plans received 04.08.2022:

Proposed west elevation
Proposed north elevation
Proposed south elevation
Proposed east elevation
Proposed roof plan
Proposed floor plan

REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.

2. The air conditioning units installed and operated in connection with this permission shall be so enclosed and/or attenuated that noise therefrom does not exceed at any time a level of 5dB[A] below the existing background noise level or 10dB[A] if there is a particular tonal quality or is intermittent in nature when measured in accordance with BS4142:2014 at a point one metre external to the nearest residential or noise sensitive property

REASON: To protect the occupants of nearby residential occupiers from noise.

Informatives

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.
2. Although they must be complied with, no details are required to be submitted in relation to the following conditions:
 1. Approved Plans
 2. Air conditioning unit noise

Unrestricted Report

ITEM NO: 9

Application No.
22/00013/CON

Ward:
Binfield With Warfield

Date Registered:
26 January 2022

Target Decision Date:
23 March 2022

D

Site Address:

Land North Of Tilehurst Lane and West Of South Lodge Tilehurst Lane Binfield Bracknell Berkshire RG42 5JS

Proposal:

Details pursuant to Conditions 20 (Energy Demand Assessment) and Condition 21 (Water Efficiency) of planning permission 17/01174/OUT.

Applicant:

Mr Keir Price

Agent:

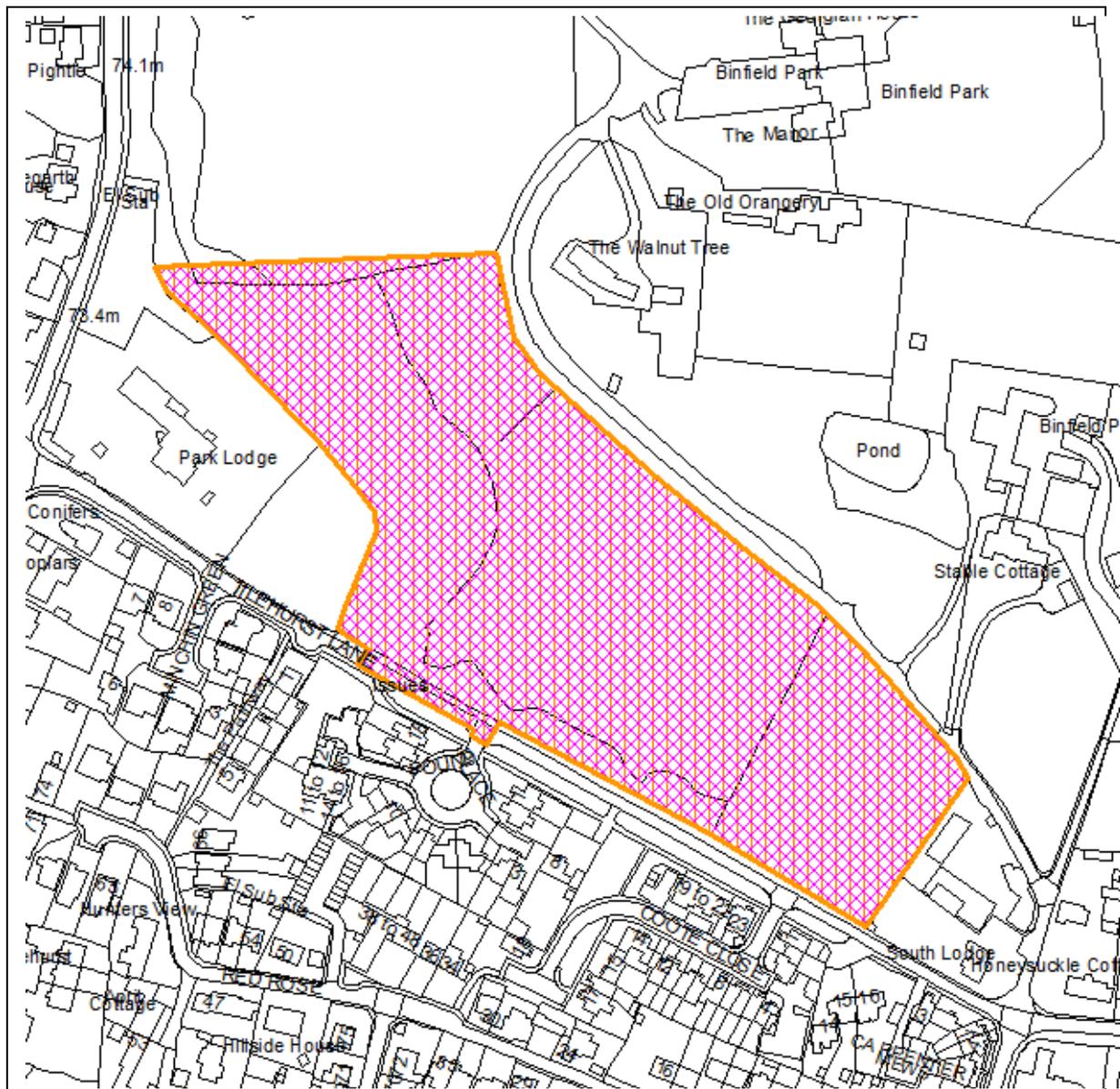
(There is no agent for this application)

Case Officer:

Jo Male, 01344 352000

Development.control@bracknell-forest.gov.uk

Site Location Plan (for identification purposes only, not to scale)



OFFICER REPORT

1. SUMMARY

- 1.1 The application submits details of an energy demand assessment and of water efficiency measures pursuant to conditions 20 and 21 of planning permission 17/01174/OUT which was allowed on appeal and which granted outline planning permission for the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features with access from Tilehurst Lane.
- 1.2 The details are considered acceptable. The submitted scheme demonstrates that the proposed development will reduce potential carbon emissions by 10% against the appropriate target emission rate using a 'fabric first' approach and will provide at least 20% of its energy requirements through on-site renewable energy production using air source heat pumps. The information supplied also demonstrates that the dwellings will achieve an average water use not exceeding 110 litres/person/day as required by the condition.

RECOMMENDATION

The submitted details be approved as set out in Section 11 of this report.
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2. REASON FOR REPORTING APPLICATION TO COMMITTEE

- 2.1 The application is being presented to the Committee in order that it can be considered at the same time as other conditions applications relating to this site (reference: 22/00080/COND and 21/00089/COND) and the reserved matters application for the site 21/00507/REM, all of which appear elsewhere on the agenda, as agreed at the meeting of the Planning Committee on 19th May 2022.

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS

Countryside

Site lies beyond the 5km buffer to the Thames Basin Heaths SPA
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Buildings within the vicinity of the site are listed
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4. RELEVANT SITE HISTORY

- 4.1 In 2017 an outline planning application (17/01174/OUT) was submitted proposing the erection of forty houses, including 10 affordable houses together with provision of parking, a play area, landscaping and an attenuation pond, with access from Tilehurst Lane. This application was refused however was ultimately allowed on appeal (ref: APP/R0335/W/19/3228697) following a public inquiry. The permission was granted subject to conditions which included securing the provision of a 'heritage park' on the site's western side which would provide publicly accessible open space.

Details of recent applications relating to the site are set out below:

19/00213/COND - Details pursuant to condition 26 (Heritage Park) of planning permission 17/01174/OUT in relation to appeal reference APP/R0335/W/19/3228697. Approved.

21/00006/COND Details pursuant to Condition 22 (Archaeological Evaluation) of planning permission 17/01174/OUT (Permission granted on Appeal Ref. APP/R0335/W/19/3228697). Approved.

21/00014/COND Details pursuant to condition 7 (Tree Protection) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00037/COND Details pursuant of to Condition 19 (Updated Ecological Appraisal) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00089/COND Details pursuant to Conditions 4 (Finished Floor Levels), 11 (Site Organisation), 12 (Working Method Statement), 14 (Biodiversity Enhancements), 18 (Newt Mitigation Measures), 23 (Surface Water Drainage Scheme), 24 (Drainage Strategy) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Appears elsewhere on this agenda.

21/00507/REM Submission of reserved matters application to outline planning permission 17/01174/OUT for the approval of details of appearance, landscaping, layout and scale relating to the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features with access form Tilehurst Lane. Appears elsewhere on this agenda.

22/00008/COND Details pursuant to condition 15 (works to trees in bird nesting season) of planning permission 17/01174/OUT. Approved.

22/00080/COND Details pursuant to Condition 10 (cycle parking) and 17 (External lighting) of planning permission 17/01174/OUT. Appears elsewhere on this agenda.

5. THE PROPOSAL

5.1 This application seeks the approval of details submitted pursuant to conditions 20 and 21 of planning permission 17/01174/OUT which relate to the requirement for an Energy Demand Assessment (Condition 20) and water efficiency (Condition 21).

5.2 Condition 20 states:

The development hereby permitted shall not be begun until an Energy Demand Assessment has been submitted to and approved in writing by the Local Planning Authority. This shall demonstrate that:

- i) before taking account of any on-site renewable energy production the proposed development will reduce carbon dioxide emissions by at least 10% against the appropriate Target Emission Rate as set out in Part L of the Building Regulations (2006), and
- ii) a proportion of the development's energy requirements will be provided from on-site renewable energy production (which proportion shall be 20%).

The dwellings thereafter constructed by the carrying out of the development shall be in accordance with the approved assessment and retained in accordance therewith.

Condition 21 states:

No residential development shall commence until a Sustainability Assessment covering water efficiency aimed at achieving an average water use in new dwellings of 110 litres/person/day, has been submitted to, and agreed in writing by the Local Planning Authority. The development shall be implemented in accordance with the Sustainability Statement, as approved and retained as such thereafter.

6. REPRESENTATIONS RECEIVED

6.1 No representations have been received in respect of the submitted application.

7. SUMMARY OF CONSULTATION RESPONSES

Renewable Energy Officer
Recommends approval.

8. DEVELOPMENT PLAN

8.1 The Development Plan for the Borough includes the following:

Site Allocations Local Plan (2013) (SALP)
Core Strategy Development Plan Document (2008) (CSDPD)
'Saved' Policies of the Bracknell Forest Borough Local Plan (2202) (BFBLP)
'Retained' Policies of the South East Plan (2009) (SEP)
Bracknell Forest Policies Map (2013)

The application site also lies within the designated Binfield Neighbourhood Plan area such that the Binfield Neighbourhood Plan (2016) also applies.

9. PLANNING CONSIDERATIONS

9.1 Condition 20 was imposed by the Inspector when allowing the appeal, in light of Policy CS12 of the Council's Core Strategy Development Plan (2008), which requires development to reduce its potential CO² emissions by 10%. It also requires developments to show that 20% of the total on-site energy requirements are being met through renewable energy generation.

9.2 The policy confirms that the carbon dioxide reduction targets relate to the appropriate Target Emission Rate as set out in Part L of the Building Regulations (2006).

9.3 The Council's Sustainable Resource Management SPD (2008) confirms that the best option in securing sustainable design is to reduce energy demand by prioritising the construction of energy efficient buildings through 'fabric first' measures.

9.4 Since the publication of the CSDPD in 2008 changes to Building Regulations and national policy have occurred. Reductions in CO² emissions from new development have been mandated through changes to Part L 2013 of the Building Regulations

which requires CO² reductions from residential development cumulatively equating to approximately 30% better than Part L 2006.

- 9.5 The submitted Energy Strategy Statement prepared by Briary Energy dated March 2022 indicates that the development will adopt a ‘fabric first’ strategy for the development which results in a 4.46% saving over the 2013 Building Regulation target. This approach will ensure that the requirements of the condition in respect of the reduction in carbon emissions are fully met.
- 9.5 In respect of the provision of on-site renewable energy, the submitted Energy Statement considers the appropriateness of a range of options for this site including photovoltaics, micro wind turbines and biomass boilers. The chosen option relies on air source heat pumps (ASHP) which have an efficient conversion rate from energy to heat, require limited maintenance and have a minimal visual impact. Photovoltaic panels were specifically rejected given the landscape sensitivity of the site particularly since their potential location is dictated by the orientation of the dwellings which can render them visually intrusive.
- 9.6 The Council’s Renewable Energy Officer has reviewed the submitted information and has confirmed that it meets the requirements of the condition and Policy CS12.
- 9.7 Condition 21 requires the submission of a Sustainability Assessment relating to water efficiency aimed at ensuring that the average water use in the new dwellings will not exceed 110 litres/person/day. A Water Use Assessment has been submitted for each of the 40 plots based on the size of units, its likely occupancy, the capacity flow rate of various appliances and their use. In each instance this demonstrates that the predicted water consumption would be below 110 litres per person, per day as required by Condition 21.

10. CONCLUSIONS

- 10.1 The application submits an Energy Demand Assessment and details of proposed water efficiency measures pursuant to conditions 20 and 21 of planning permission 17/01174/OUT. The details are considered acceptable, and will ensure that the development complies with Policies CS10 and CS12 respectively of the development plan. Accordingly approval is recommended.

11. RECOMMENDATION

That the application be APPROVED on the basis of the following details:

Conditions 20 (Water Efficiency):

Plots 1 – 40 – Part G Water Calculation received by the Local Planning Authority on 15th February 2022.

Condition 21 (Energy Demand Assessment):

Energy Strategy Statement dated March 2022 prepared by Briary Energy

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Unrestricted Report

ITEM NO: 10

Application No. 22/00080/COND	Ward: Binfield With Warfield	Date Registered: 27 May 2022	Target Decision Date: 22 July 2022
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Site Address: **Land North Of Tilehurst Lane Tilehurst Lane Binfield Bracknell Berkshire RG42 5JS**

Proposal: **Detail pursuant to conditions 10 (cycle parking) and 17 (street lighting) of planning permission 17/01174/OUT**

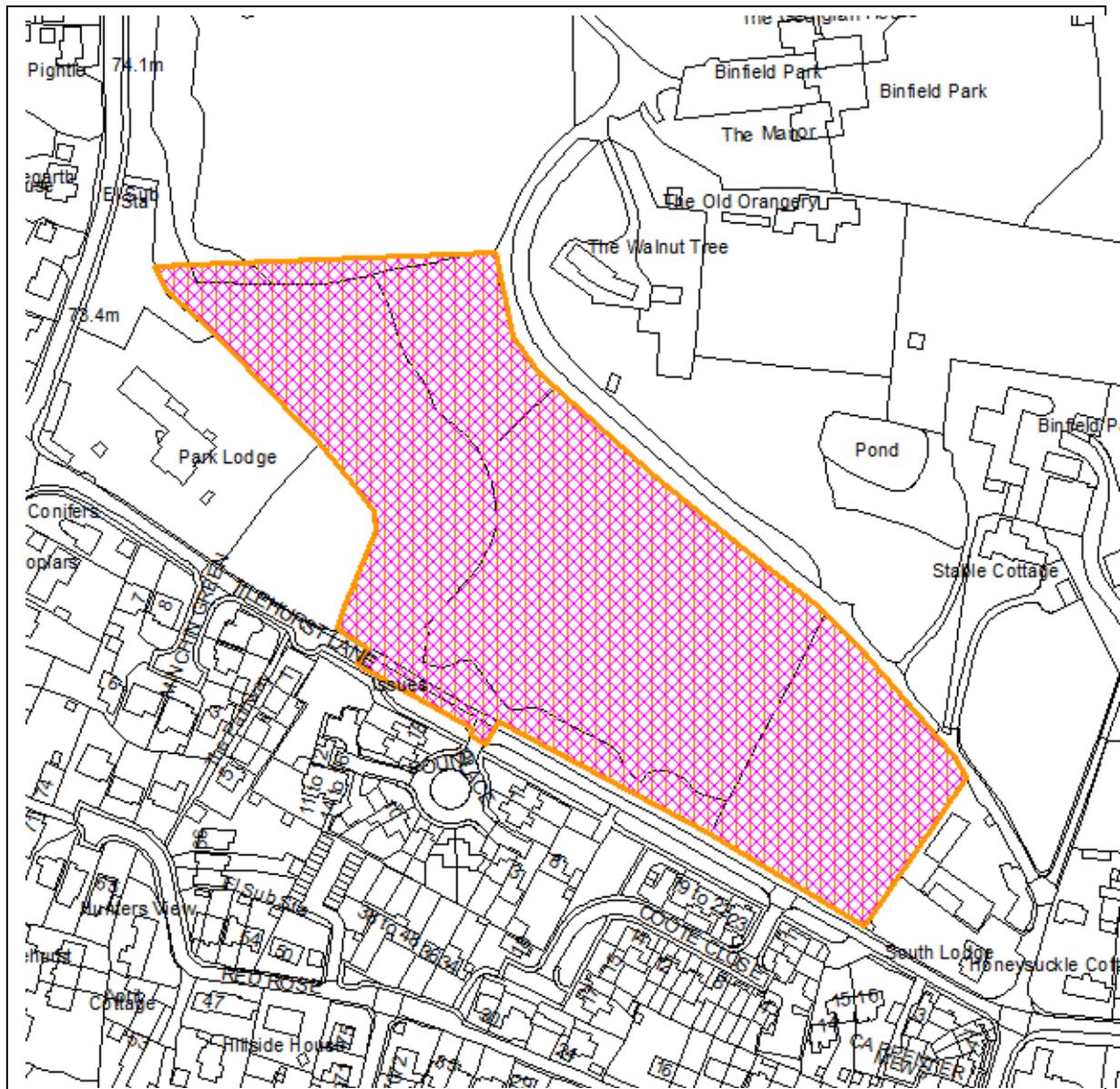
Applicant: Mr Keir Price

Agent: (There is no agent for this application)

Case Officer: Jo Male, 01344 352000

Development.control@bracknell-forest.gov.uk

Site Location Plan (for identification purposes only, not to scale)



OFFICER REPORT

1. SUMMARY

- 1.1 The application submits details of cycle parking and street lighting pursuant to conditions 10 and 17 of planning permission 17/01174/OUT which was allowed on appeal and which granted outline planning permission for the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features with access from Tilehurst Lane.
- 1.2 The details are considered acceptable. The submitted scheme provides appropriate cycle parking to meet the Council's standards and the proposed level of street lighting has been designed to balance the need for pedestrian and highway safety and its impact on the character and appearance of the surrounding area, the amenities of adjoining residential occupiers, and biodiversity.

RECOMMENDATION

The submitted details be approved as set out in Section 11 of this report.
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2. REASON FOR REPORTING APPLICATION TO COMMITTEE

- 2.1 The application is being presented to the Committee in order that it can be considered at the same time as other conditions applications relating to this site (reference: 22/00013/ COND and 21/00089/COND) and the reserved matters application for the site 21/00507 /REM, all of which appear elsewhere on the agenda, as agreed at the meeting of the Planning Committee on 19th May 2022.

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS

Countryside

Site lies beyond the 5km buffer to the Thames Basin Heaths SPA
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Buildings within the vicinity of the site are listed
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- 3.1 The application site extends 3.21ha and comprises undeveloped grassland divided into three grazing paddocks, located on the northern side of Tilehurst Lane. The land originally formed part of the parkland to Binfield Park, a Grade II* Listed Building, which is located to the north of the site. To the north-west lies a further paddock, and to the west lies an area of woodland associated with the Park Lodge Day Nursery which is located at the junction of Tilehurst Lane and Terrace Road North. There is a fall across the application site of approximately 13m in a north-west to south-east direction.
- 3.2 The site's southern boundary with Tilehurst Lane is characterised by a verge and ditch with tree and shrub planting which extends into the site. Immediately adjacent to the site's eastern boundary is a cattery and the Grade II listed South Lodge, together with entrance gate piers which are also associated with Binfield Park and which are Grade II listed.
- 3.3 The site is located within the countryside immediately adjacent to the settlement boundary of Binfield as identified on the Bracknell Forest Borough Policies Map (2013). This also identifies Tilehurst Lane as part of the Binfield Bridleway Circuit.

- 3.4 The site is located beyond the 5km buffer to the Thames Basin Heaths SPA and it was accepted at outline application stage that, given the scale of the development, it would not, either individually or cumulatively have a significant effect on the conservation objectives of the Thames Basin Heaths Special Protection Area.

4. RELEVANT SITE HISTORY

- 4.1 In 2017 an outline planning application (17/01174/OUT) was submitted proposing the erection of forty houses, including 10 affordable houses together with provision of parking, a play area, landscaping and an attenuation pond, with access from Tilehurst Lane. This application was refused however was ultimately allowed on appeal (ref: APP/R0335 /W/19/3228697) following a public inquiry. The permission was granted subject to conditions which included securing the provision of a 'heritage park' on the site's western side which would provide publicly accessible open space.

Details of recent applications relating to the site are set out below:

19/00213/COND - Details pursuant to condition 26 (Heritage Park) of planning permission 17/01174/OUT in relation to appeal reference APP/R0335/W/19/3228697. Approved.

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21/00014/COND Details pursuant to condition 7 (Tree Protection) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00037/COND Details pursuant of to Condition 19 (Updated Ecological Appraisal) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Approved.

21/00089/COND Details pursuant to Conditions 4 (Finished Floor Levels), 11 (Site Organisation), 12 (Working Method Statement), 14 (Biodiversity Enhancements), 18 (Newt Mitigation Measures), 23 (Surface Water Drainage Scheme), 24 (Drainage Strategy) of planning permission 17/01174/OUT (Appeal Ref: APP/R0335/W/19/3228697). Appears elsewhere on this agenda.

21/00507/REM Submission of reserved matters application to outline planning permission 17/01174/OUT for the approval of details of appearance, landscaping, layout and scale relating to the erection of 40 dwellings including 10 affordable dwellings, together with the provision of parking, landscaping and drainage attenuation features with access form Tilehurst Lane. Appears elsewhere on this agenda.

22/00008/COND Details pursuant to condition 15 (works to trees in bird nesting season) of planning permission 17/01174/OUT. Approved.

22/00013/COND Details pursuant to Condition 20 (Energy Demand Assessment) and Condition 21 (Water Efficiency) of planning permission 17/01174/OUT. Appears elsewhere on this agenda.

5. THE PROPOSAL

5.1 This application seeks the approval of details submitted pursuant to conditions 10 and 17 of planning permission 17/01174/OUT which relate to cycle parking and external lighting.

5.2 Condition 10 states:

No dwelling shall be occupied until secure and covered parking for bicycles has been provided for that dwelling in accordance with details to have been submitted to and approved by the Local Planning Authority. Such secure cycle parking shall thereafter be retained at all times.

Condition 17 states:

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) or any Order revoking and re-enacting that order, no external lighting shall be installed on the site or affixed to any buildings on the site except in accordance with details set out in a lighting strategy for biodiversity that has first been submitted to and approved in writing by the Local Planning Authority. The strategy shall:

- i) identify those areas/features on site that are particularly sensitive for bats and that are likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example, for foraging; and
- ii) show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory or having access to their breeding sites and resting places.

The Strategy shall identify any phases of development. All external lighting shall be installed prior to the first occupation of any dwellings within that identified phase in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. 5.3 A single external lighting scheme has been submitted pursuant to Conditions 25 and 26, which takes into account the impact of the lighting on biodiversity.

6. REPRESENTATIONS RECEIVED

6.1 No representations have been received in respect of this application.

7. SUMMARY OF CONSULTATION RESPONSES

Highway Lighting Officer
Recommends approval

Highway Officer
No objection

Biodiversity Officer
Has reviewed the lighting layout and lux contours plan and is satisfied that light levels are restricted to below 1 lux on the sensitive tree lines such that they are acceptable.

8. DEVELOPMENT PLAN

8.1 The Development Plan for the Borough includes the following:

Site Allocations Local Plan (2013) (SALP)
Core Strategy Development Plan Document (2008) (CSDPD)
'Saved' Policies of the Bracknell Forest Borough Local Plan (2202) (BFBLP)
'Retained' Policies of the South East Plan (2009) (SEP)
Bracknell Forest Policies Map (2013)

The application site also lies within the designated Binfield Neighbourhood Plan area such that the Binfield Neighbourhood Plan (2016) also applies.

9. PLANNING CONSIDERATIONS

9.1 The Council's standards for cycle parking as set out in the Parking Standards SPD (2016) require one cycle parking space per bedroom. The submitted details show cycle parking to be provided within garages where they are of a suitable length to achieve this, and for sheds to be provided within the rear gardens of all units without garages. Cycle parking to the flats would be provided within the cycle store which is located within the building.

9.2 The Highway Officer has confirmed that the plans for cycle parking are acceptable and provide sufficient cycle parking in accordance with the Council's adopted standards.

9.3 The proposed external lighting has the potential to impact upon the character and appearance of the area, the amenities of adjoining residents, and biodiversity. Policy EN20 of the BFBLP requires development not to adversely affect the amenity of surrounding properties and the adjoining area and Policy CS1 of the CSDPD requires development to protect and enhance biodiversity.

9.3 The Council has agreed standards for the level of lighting that will be provided for all adoptable areas in order to ensure pedestrian and highway safety. Given the landscape sensitivity of the site, the extent to which the access roads within the site will be adopted and therefore be subject to these required standards of lighting, have been carefully considered.

9.4 The plan below shows the proposed area of adoption shaded green with those parts of the access, either pedestrian or vehicular, to remain private and the responsibility of the management company hatched red.



- 9.5 It provides for the adoption of the footpath along the site's frontage with Tilehurst Lane returning northwards at the site's western end, in order to provide access to the public open space secured as part of the outline permission. However, the footpath along the site's northern boundary will not be adopted as this boundary is considered to provide a sensitive edge to the site, proximate to a row of trees beyond the site's northern boundary which have the potential to support foraging bats. This area will be lit by low level bollard lighting which will be managed by a private maintenance company.
- 9.6 In the areas proposed for adoption, 5 metre columns are provided and all lights are provided with internal rear louvres to reduce rear light spill onto ecologically sensitive areas and property facades. All luminaires will be provided with dimmable electronic drivers and will be operated in accordance with the Council's dimming schedule as set out below:

Time	% of Light Output
06:00 – 20:00	70%
20:00	49%
22:00	35%
05:00	49%
06:00	70%

- 9.7 The remaining areas would be lit by low-level bollard lighting which would be privately maintained. The Council's Highway Lighting Engineer has confirmed that it would be inappropriate to use bollard lighting in adoptable areas as it is not possible to achieve the required lighting standard using them. Furthermore, these types of bollards are costly and would impose a significant maintenance burden/liability on the Council. The plans have been amended in order to meet the requirements of the Lighting Engineer who now recommends approval of the current scheme.

Impact upon Character and Appearance of the Site

- 9.8 The site is an edge of settlement location within a semi-rural location. In allowing the appeal and granting outline consent for 40 dwellings on this site, the Inspector acknowledged that the development would cause some harm to the rural setting of

Binfield as a result of a number of factors, including lighting, commenting at para. 54 of the decision letter:

‘54. In as much as the open land would be lost, including the sights associated with such a countryside landscape, together with the introduction of noise, vehicle movements and lighting, there would be some harm to the rural setting of Binfield. Furthermore, the current existing clear built edge of the settlement would change and there would be less opportunity for members of the public to appreciate that edge. However, the change would occur on well contained sites and would be accommodated in a manner that would be sensitive to the wider locality, such that the harm to the character and appearance area would be limited’.

- 9.9 Whilst, the proposed lighting will have some visual impact upon the character and appearance of the area, the 5m high lighting columns will be viewed within the context of the housing development and all will be fitted with rear shields that will limit light spill. The bollard lighting is low level and enclosed within the envelope of the development.
- 9.10 The existing vegetation along Tilehurst Lane has been retained which will limit the visibility of any lighting from the public realm, although views into the site are clearly provided from the access point. The design of the scheme seeks to minimise the impact of lighting whilst providing sufficient illumination to achieve highway and pedestrian safety. The provision of some lighting is a necessary consequence of any residential development of the site, as recognised and accepted by the Inspector. Accordingly, the impact of the lighting on the character and appearance of the area is considered acceptable.

Impact on Residential Amenity

- 9.7 The submitted information confirms the very limited light spill that will result from each luminaire, each of which will be fitted with a rear shield. An extract from the Lighting Layout plan below, indicates a contour where the level of light spill for each luminaire is 1 lux (pink line) and 0.6 lux (blue line):

the site. The Biodiversity Officer has assessed this information and has confirmed that the details are acceptable since they restrict light levels to below 1 lux on the sensitive tree lines.

- 9.11 Given the positioning of the light columns and the mitigation measures proposed, it is not considered that the proposed lighting will have a material adverse impact on biodiversity.

10. CONCLUSIONS

- 10.1 This application submits details of cycle parking and an external lighting scheme pursuant to conditions imposed by the Inspector when allowing an appeal and granting outline planning permission for 40 dwellings on the site.
- 10.2 The submitted scheme provides details of cycle parking to meet the Council's standard of 1no. cycle space per bedroom, and is considered acceptable.
- 10.3 The need for external lighting is an inevitable consequence of a residential development of the site. The Inspector took into account its potential impact upon the character and appearance of the area and concluded that the level of harm that would be caused would be limited.
- 10.4 Careful consideration has been given to those areas of the site which will be required for adoption as this has consequences for the type of lighting provided. The footpath link along part of the site's northern boundary will not be adopted as it is to remain private which obviates the need for lighting columns within this area which have the potential to impact on nature interests in the remaining undeveloped land to the north of the site. Alternative lit routes to the public open space are available from elsewhere within the site.
- 10.5 The scheme has been designed to provide the minimum level of lighting required in order to ensure highway and pedestrian safety whilst limiting its impact on biodiversity, including providing rear shields to all luminaires in order to limit light spill. Adoptable areas will be lit in accordance with the Council's standards and will be operated by the Council in line with current practice which includes dimming them throughout the night. Other lighting within the site would be provided by low-level bollards which would be set within the confines of the approved development.
- 10.3 It is considered that the proposed lighting would have an acceptable impact upon the character and appearance of the site, would not have an adverse impact upon the amenities of adjacent dwellings and would not adversely impact upon biodiversity such that it complies with development plan policies CS1 and EN20 and accordingly approval is recommended.

11. RECOMMENDATION

That the application be APPROVED on the basis of the following details:

Conditions 10 (Cycle Parking):

Cycle Parking Plan 219-109 P2

Condition 17 (External Lighting Scheme):

2482-DFL-HLG-XX-DR-EO-13001 Lighting Layout
2482-DFL-HLG-XX-CA-EO-13001-S3-P04 Layout Report
2482-DFL-HLG-XX-RP-EO-13001-S3-P03 Project Report and Designer Notes
2482-DFL-HLG-XX-DR-EO-13002 Lighting Layout (ISO Lux Contours)
Pharola Bollard Luminaire Specification Sheet